

**CITY OF CAPE TOWN**  
DEVELOPMENT MANAGEMENT

Recommended for Approval

Building Control Officer / Delegates

This application has been approved in terms of Section 7 (1) (a) of Act 103 of 1977, subject to the conditions in the attached letter of approval.

20 Jul 2022

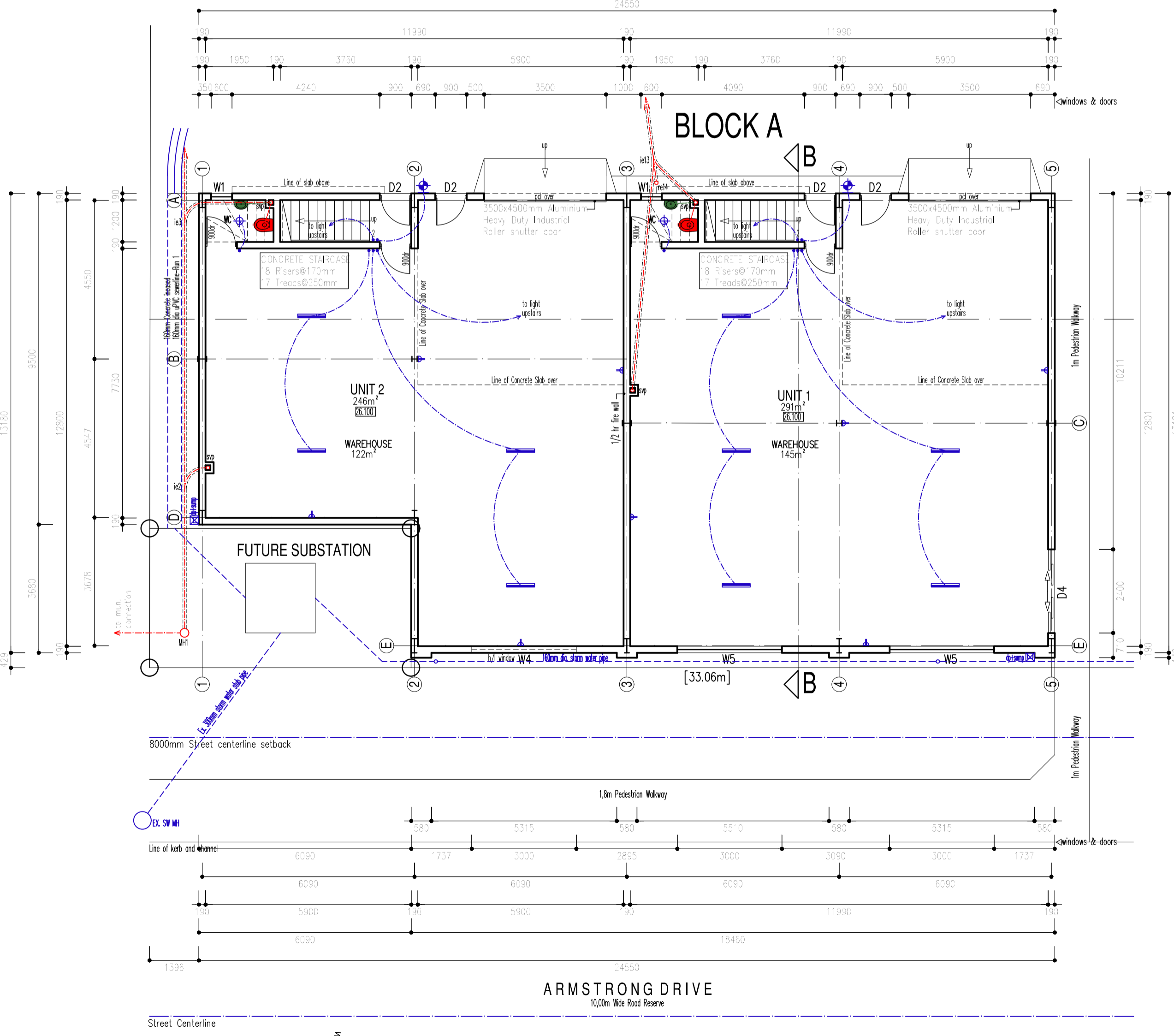
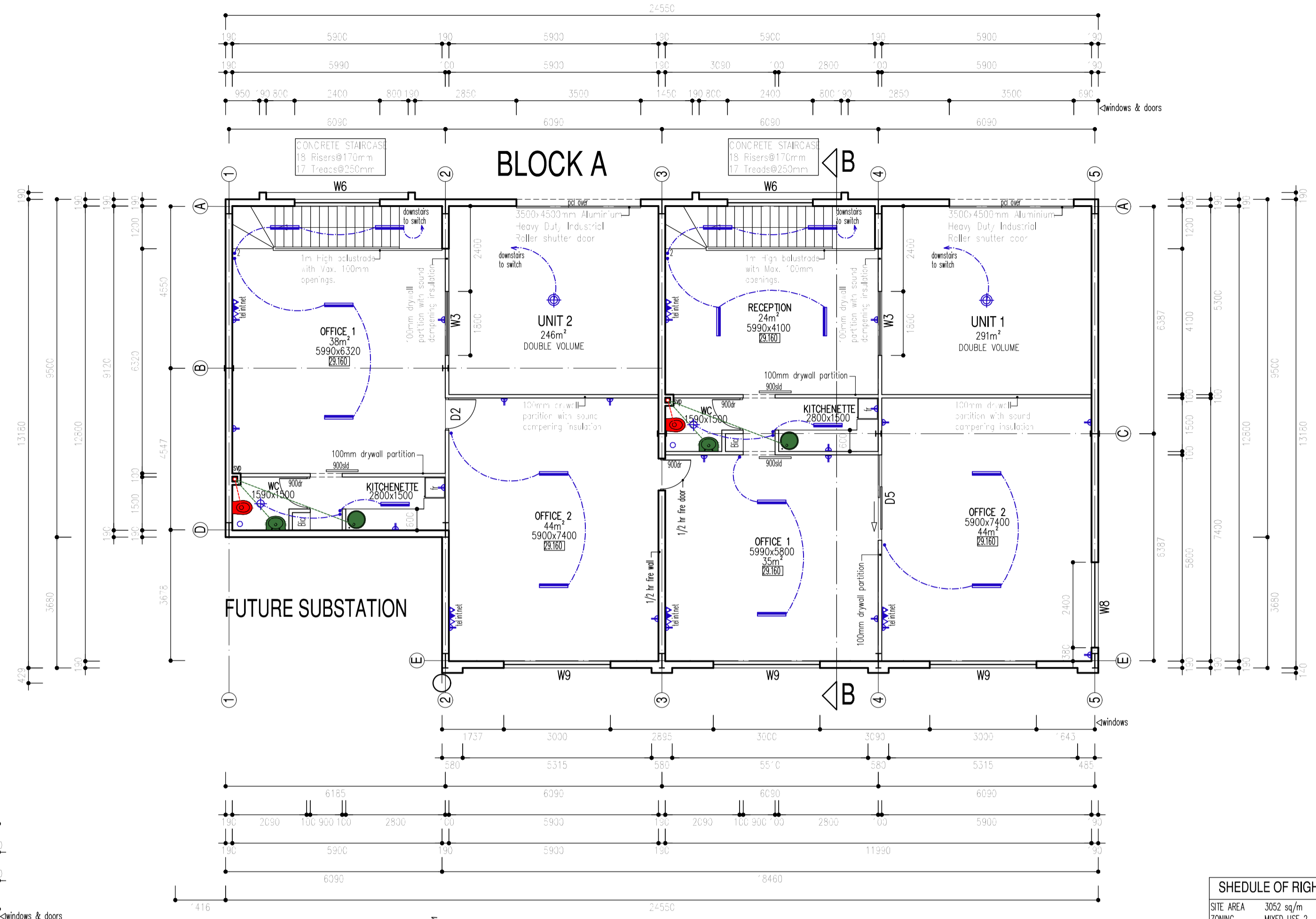
Planning & Building Development Management

Approval Number: 97615350

Application Number: 000070561277

**REFUSE ROOM POLICY**

- INTRODUCTION
- REFUSE/METER ROOMS HAVE BEEN EXCLUDED FROM THE BULK PROVISIONS OF THE ZONING SCHEME AND ALSO THE HEAD-T OF THE STRUCTURE WITHIN THE PRESCRIBED BUILDING LINES.
- THE ABOVE DEPARTURES WERE SPECIFICALLY GRANTED TO PERMIT ARCHITECTS/ DESIGNERS THE SCOPE TO APPLY ASSISTANT CONSIDERATIONS TO THESE STRUCTURES, SO THAT THESE STRUCTURES WILL NOT ONLY BLEND WITH THE DESIGN OF THE COMPLEX, BUT WILL ALSO BE ACCEPTABLE TO THE NEIGHBOURHOOD.
- REQUIREMENTS FOR REFUSE ROOMS/REFUSE ENCLOSURES
- REFUSE ROOMS AND REFUSE ENCLOSURES MUST BE POSITIONED AS CLOSE TO THE ROAD BOUNDARY OF THE SITE AS POSSIBLE.
- WHERE A COMPLEX CONSISTS OF 20 OR LESS UNITS, AN UNROOFED REFUSE ENCLOSURE WILL BE ACCEPTED.
- WHERE THE NUMBER OF UNITS IN THE COMPLEX EXCEEDS 20, A REFUSE ROOM ENCLOSED WITH THE FOLLOWING REQUIREMENTS MUST BE PROVIDED:
  - AN AREA OF 0.6m<sup>2</sup> (800mm WIDE x 800mm DEEP) MUST BE PROVIDED FOR EACH REFUSE BIN.
  - AN UNROOFED PASSAGE HAVING A MINIMUM WIDTH OF 1 METRE FOR THE FULL LENGTH OF THE REFUSE ROOM MUST BE PROVIDED FOR THE PURPOSE OF MAINTAINING THE REFUSE BINS.
  - A SOLID HARDWOOD DOOR/GATE AT LEAST 85mm WIDE MUST BE PROVIDED AND S.U.C. - 300R/GATE, WHICH IN AN OPEN POSITION, SHALL NOT PROJECT BEYOND THE PROPERTY BOUNDARY. THE DOOR/GATE MUST BE FITTED WITH A SOLID-CLOSING AND SELF-LATCHING DEVICE OF A NON-LOOKING TYPE (L.E.S.S. AND A STRIKING ARRANGEMENT IS CONSIDERED WITH THE MUNICIPAL CLEANING BRANCH).
  - A 1.0m-SUP CONCRETE RAMP HAVING A GRADE IT NOT EXCEEDING 1:8 SHALL BE PROVIDED FROM THE GROUND TO THE FLOOR LEVEL OF THE REFUSE ROOM AND/OR REFUSE ENCLOSURE.
  - THE MINIMUM FLOOR TO THE CEILING HEAD-T OF THE REFUSE ROOM SHALL BE 2100mm.
  - THE PROFILE OF THE ROOF SHEETS SHALL BE ADEQUATELY SCREENED ALL ROUND.
  - A KERB AT LEAST 100mm IN HEIGHT SHALL SEPARATE THE BIN WASHING AREA FROM THE REMAINDER OF THE REFUSE ROOM.
  - AN AREA OF AT LEAST 1.25m<sup>2</sup> SHALL BE PROVIDED FOR THE WASHING OF THE REFUSE BINS.
  - A TAP SHALL BE PROVIDED IN A SUITABLE POSITION IN BOTH THE REFUSE ROOM AND REFUSE ENCLOSURE FOR THE WASHING DOWN OF THE FLOORS.
  - ANY SPILLAGE THAT MAY OCCUP MUST FIRST BE REMOVED BEFORE THE FLOOR OF THE REFUSE ROOM OR REFUSE ENCLOSURE IS WASHED DOWN. SUITABLE NOTICES IN BOTH OFFICIAL LANGUAGES IN 75mm HIGH LETTERING MUST BE PRINTED OR AFFIXED TO THE INNER WALLS OF THE REFUSE ROOM/ENCLOSURE.
  - THE FLOOR OF THE REFUSE ROOM INCLUDING THE BIN WASHING AREA MUST BE GRADED TO AN EXTERNALLY SLOATED STABLE TYPE DRAINAGE GULLY WHICH IN TURN SHALL BE CONNECTED TO THE SEWER.
  - THE FLOOR OF THE OPEN REFUSE ENCLOSURE MUST BE GRADED TO A STORM-WATER CHANNEL WHICH MUST DISCHARGE TO A PROPERTY CONSTRUCTED ON-SITE SOAK-AWAY HAVING AN EFFECTIVE AREA OF AT LEAST 1 CUBIC METRE.
  - THE REFUSE ROOM MUST BE ADEQUATELY CROSS-VENTILATED AND BE 100% ROOFED.
  - THE RIGHT IS RESERVED TO APPLY ADDITIONAL REQUIREMENTS SHOULD THIS BE DEEMED NECESSARY AT ANY FUTURE DATE.



**FIRST STOREY**  
SCALE 1:200

**FENESTRATION CALCULATIONS**

UNIT	CONDUCTANCE	PERMISSIBLE	ACTUAL	TOTAL NETT AREA
UNIT 1	159.60	147.89	14.76	114.00
UNIT 2	127.40	79.63	8.27	91.00
UNIT 3	49.00	36.97	3.28	35.00
UNIT 4	65.80	36.97	3.28	47.00
UNIT 5	96.60	36.97	4.10	69.00
UNIT 6	4.20	2.84	0.31	3.00
UNIT 7	42.00	34.13	3.67	30.00
UNIT 8	61.60	44.66	5.24	44.00
UNIT 9	46.20	27.60	3.41	33.00
UNIT 10	46.20	27.60	3.41	33.00

**SCHEDULE OF RIGHTS**

SITE AREA	3052 sq/m
ZONING	MIXED USE 2
OCCUPANCY	U3 & G1
UNITS	10
BULK	PERMISSIBLE: 0.65, ACTUAL: 0.61
COVERAGE	PERMISSIBLE: 100%, ACTUAL: 45%
FLOOR FACTOR	PERMISSIBLE: 4, ACTUAL: 0.20
HEIGHT RESTRICTION	10m Top of Roof

**PARKING REQUIREMENTS:**

10x loading Bay Size 10000x5000mm  
28x parking Bay Size 5000x2500mm  
14x disabled Bay Size 5000x5000mm

**VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION**

REV:	DATE:	DRAWN:	DETAILS:
2/1	17/03/2022	T.P.	CLIENTS CHANGES

**BUILDING AREAS**

SITE AREA	3052sq/m
BLOCK A	537,0sq/m
BLOCK B	1296,0sq/m
BLOCK C	696,0sq/m
REFUSE ROOM	12,0sq/m
TOTAL	2541,0sq/m

**PROJECT:**  
**PROPOSED NEW UNITS FOR WESTCOAST PROPERTY INVESTMENTS (PTY) LTD ON ERF 708 RIVERGATE**

**DRAWING:**  
**COUNCIL DRAWINGS**

SHEET	SCALE	REVISION
1 OF 9	As Shown	2.0

DATE:	FILE:	DRAWING No:
18/06/2021	708-Rivergate	21-41

PO BOX 50456 WEST BEACH CELL:082 927 7735 FAX: 086 694 1667  
E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288

**WESTCOAST PROPERTY INVESTMENTS (PTY) LTD**

**DESIGN ARCHITECTS**

**GROUND STOREY**  
SCALE 1:200

NOTE: NO PLASTIC PIPES OR FITTINGS WILL BE USED ABOVE GROUND IN THE FIRE AND DOMESTIC WATER INSTALLATIONS INSIDE THE BUILDING

**ROOF ASSEMBLY:**

Min. requires R=2/ue	3.7m <sup>2</sup> /m <sup>2</sup>
Reflective foil under R=1/ue	0.75
Roof: Roof sheathing & ceiling R=1/ue	0.35
Fibre-glass Insulat. 100mm R=1/ue	3.35
Total R=1/ue	6.45

**DESIGN ARCHITECTS**

**CITY OF CAPE TOWN**  
DEVELOPMENT MANAGEMENT

Recommended for Approval

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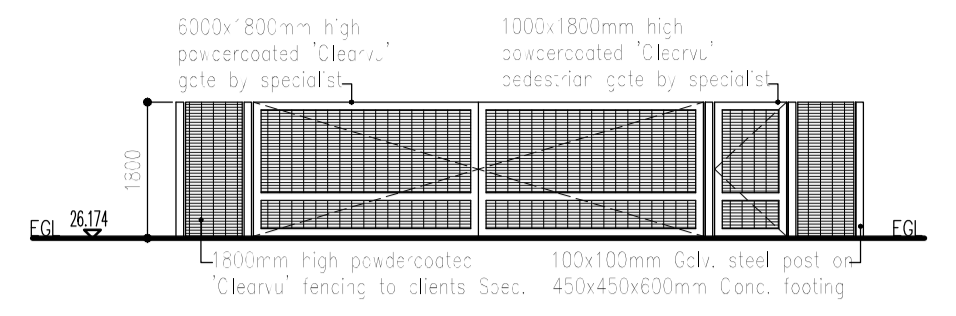
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Date

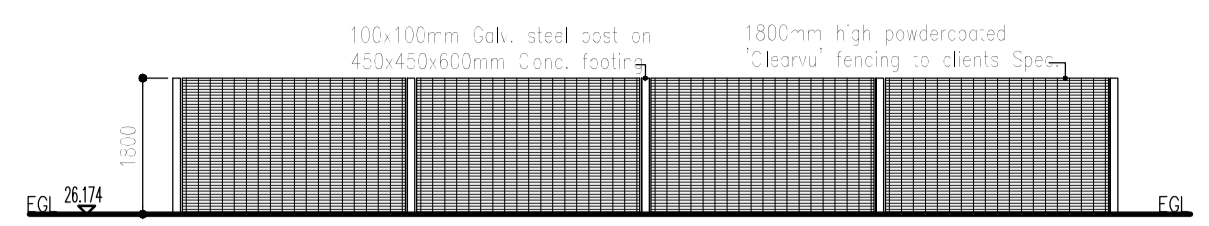
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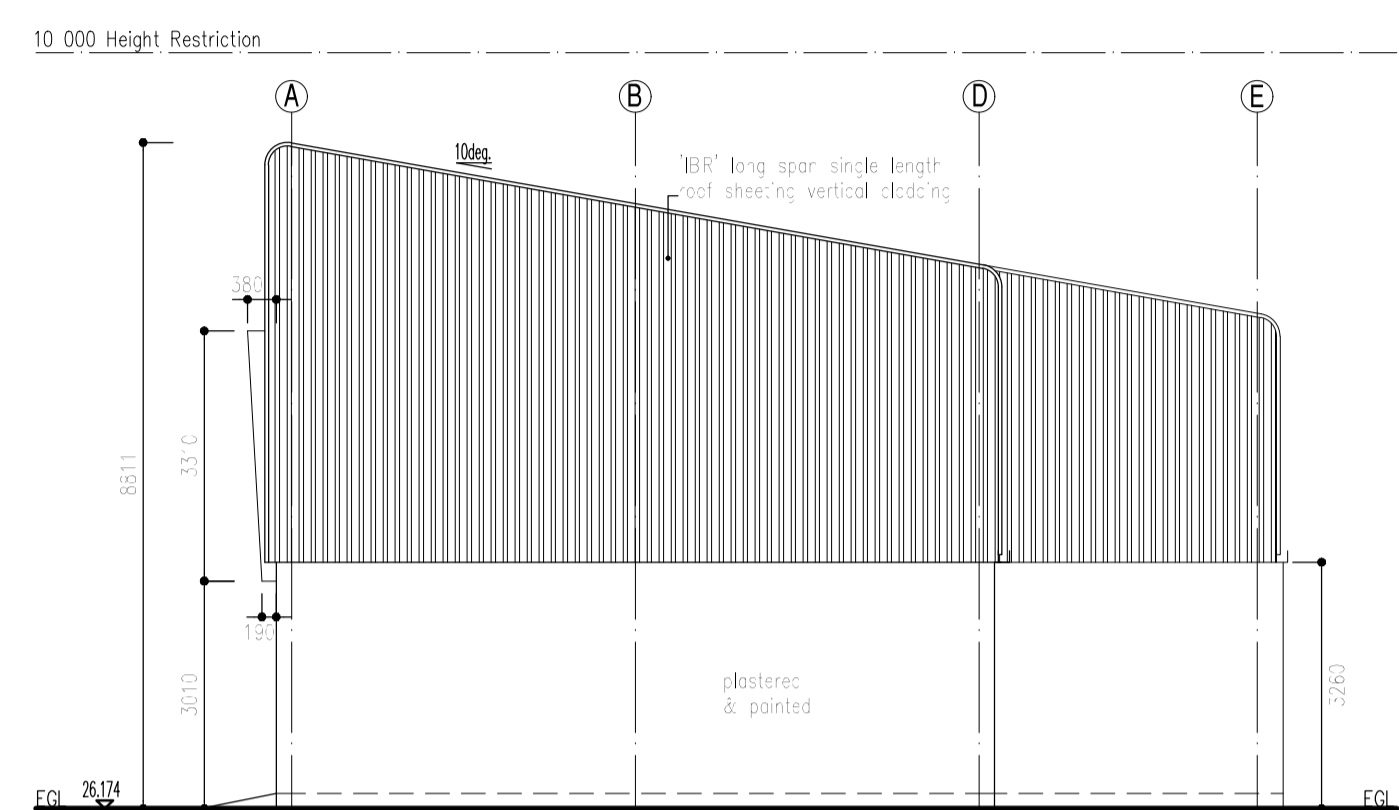
**STREET ELEVATION**  
BOUNDARY WALLING  
SCALE 1:100



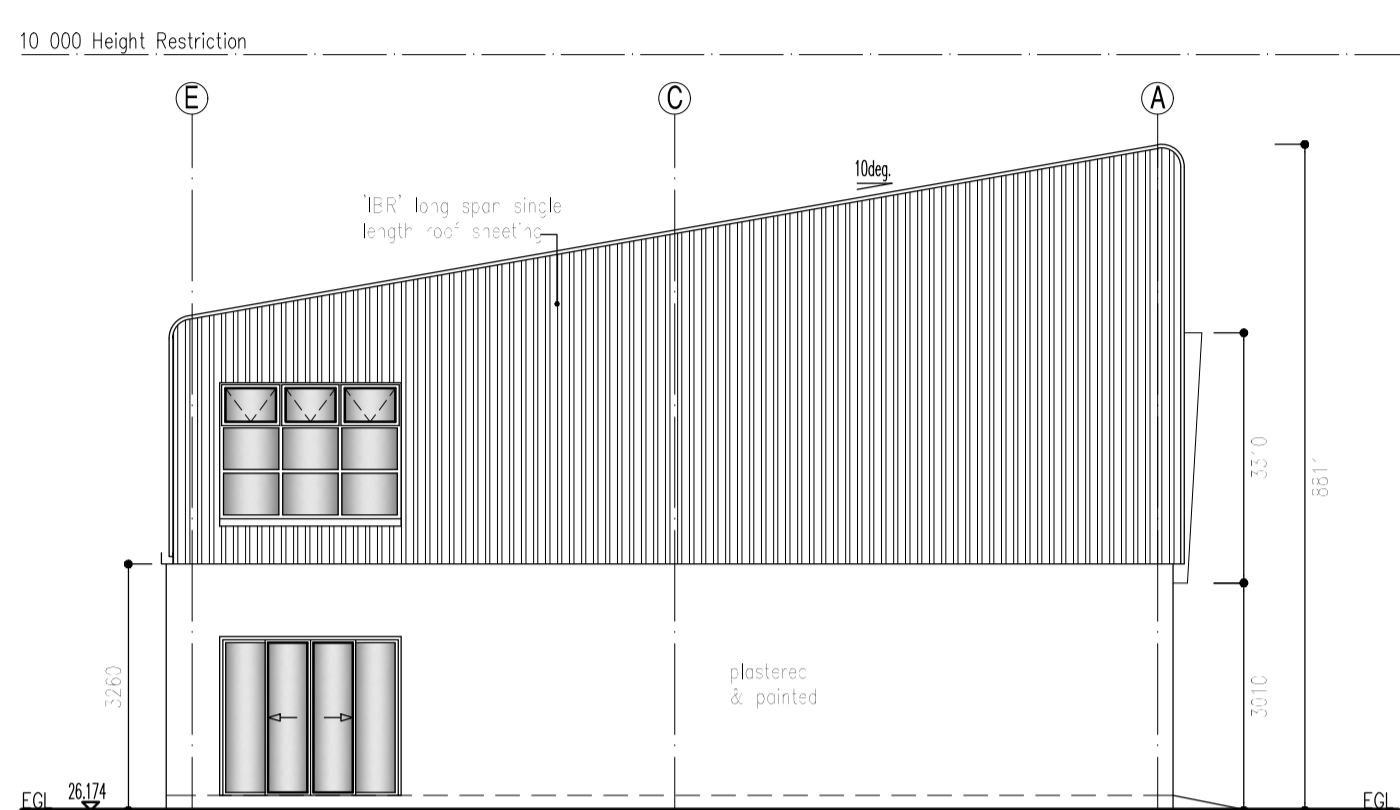
**STREET ELEVATION**  
BOUNDARY WALLING  
SCALE 1:100

- GENERAL NOTES:
1. PROVIDE A TALKON CONNECTION JIB TO SABS 300/1989.
  2. WATER METER AND CONNECTION PIPE TO BE MIN. 15mm TO.
  3. SUPPLY AND FIT SINGLE PHASE ELECTRICAL CORDS FROM COUNCIL.
  4. NO PLUMBING PIPES TO BE HIDDEN FROM THE STREET.
  5. EXTERNAL STEPS MAX. RISERS 150mm, MIN. TREADS 300mm.
  6. EXPANSION JOINTS TO BE PROVIDED TO BOUNDARY WALLS AT MAX. 5000mm CENTERS (where applicable).
  7. ALL CANNIES SHOULD BE KEPT CLEAN FROM EXCESS CONCRETE & DEBT.
  8. WEEP-HOLES TO BE MIN. 1200mm ABOVE F.F.L.
  9. LEAF FINISHES TO BE MIN. 400mm ABOVE F.F.L.
  10. WALL SOCKETS TO BE MIN. 430mm ABOVE F.F.L.
  11. CEILING MOUNTED POWER SOCKETS TO BE PROVIDED TO U/S OF CEILING.
  12. WASTE TO BE MIN. 500mm ABOVE F.F.L.
  13. SUPPLY AND WASTE TO W & D W TO BE IN 30mm DEEP RECESS. SPOCKETS TO BE 430mm COUNTER.
  14. NO PORTION OF BUILDING TO EXTEND OVER THE SITE BOUNDARY.
  15. ALL DOORS BUILT INTO BRICKWORK TO BE WRAPPED IN DPC.
  16. ALL WATERPROOFING TO BE DONE BY SPECIALIST.

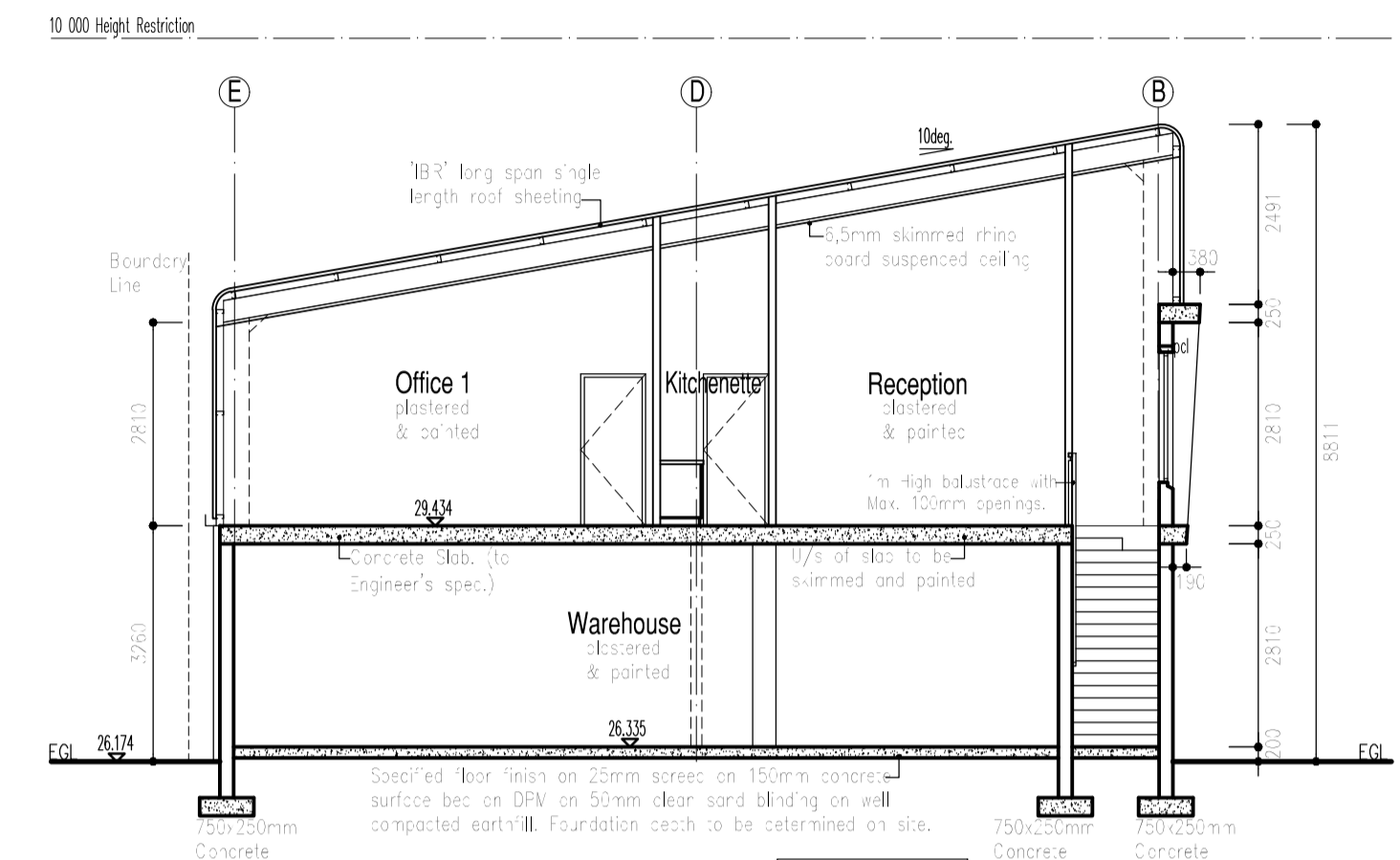
- NOTES**
- ALL WORK TO BE CARRIED OUT IN STRICT ACCORDANCE WITH LOCAL, ALF-DIFFY REGULATIONS AND BLS-LAWS. CONTRACTOR MUST CHECK ALL LEVELS, DIMENSIONS AND WALL HEADINGS AND ANGLES ON SITE BEFORE COMMENCEMENT OF ANY WORK. ANY SUCH DEFICIENCIES RESULTING IN ERRORS OR DISCREPANCIES ON PLAN, THE ARCHITECT SHOULD BE INFORMED IMMEDIATELY BEFORE COMMENCEMENT OF ANY WORK. DRAINAGE CONNECTIONS MUST AND LEVELS TO BE CHECKED BY THE PLUMBING CONTRACTOR BEFORE COMMENCEMENT OF ANY WORK.
- ROOF CONSTRUCTION: (Refuse Room)  
18" GA. STEEL CORRUGATE 1100x900mm SINGLE LENGTH ROOF SHEETING AT 10deg. PITCH ON 100x50x20mm GALV. STEEL CHANNE. ON GALV. STEEL PORTAL FRAME TO CONCRETE SPEC. ON GALV. STEEL I-BEAMS TO EXISTING SPEC. 100mm SABS APPROVED ROOF INSULATION TO BE PROVIDED. ALL ROOFING TO BE DESIGNED BY SPECIALIST. WATERPROOFING TO BE DONE BY SPECIALIST.
- CEILING:  
UNDERSIDE OF CONCRETE SLABS TO BE SKIMMED AND PAINTED. 6.5mm SKIMMED PHIBROBOARD SUSPENDED CEILING TO MANUFACTURER SPEC. FIXED TO UNDERSIDE OF GALV. STEEL PORTAL FRAME (to Manf. spec). 600x600mm SA PINE TIMBER TRAPDOOR TO BE PROVIDED IN CEILING. (As per plan).
- RAINWATER GOODS:  
150x150mm SEAMLESS ALUMINUM SQUARE GUTTERS AND 150x150mm ALUMINUM DOWN-PIPE TO DISCHARGE INTO SWAMP AND FLOW TO ROAD WITH UPVC STORMWATER PIPE. 250x20mm ALUMINUM SEAMLESS BOXCUTTER AND 75mm DIA. ALUMINUM DOWNPIPE TO REFUSE ROOM. ALL STORMWATER TO BE CHANNLED TO ROAD. ALL PAVED AREAS TO BE GRADED TO THE ROAD.
- FLOOR CONSTRUCTION:  
GROUND STOREY - SABS APPROVED VULCISED SHEETING (to be installed by specialist) ON SPECIFIED FLOOR CONCRETE (to Client's spec) ON 25mm SCREEN ON 100mm CONCRETE SURFACE BED ON 25mm DPM ON 50mm CLEAN SAND BUILDING ON WELL COMPACTED EARTHILL. WATERPROOFING TO BE DONE BY SPECIALIST.  
FIRST STOREY - SABS APPROVED VULCISED SHEETING (to be installed by specialist) ON SPECIFIED FLOOR CONCRETE (to Client's spec) ON 25mm SCREEN ON CONCRETE SLAB (to Eng. spec). WATERPROOFING TO BE DONE BY SPECIALIST.
- WALL CONSTRUCTION:  
190mm BLOCK WALLS EXTERNALLY ON 750x250mm CONCRETE STRIP FOUNDATIONS.  
190mm BLOCK WALLS INTERNALLY ON 750x250mm CONCRETE STRIP FOUNDATIONS.  
100mm DRYWALL PARTITION INTERNALLY ON CONCRETE SLAB.
- CLOSE FRAMES:  
ALL CANNIES TO BE CLOSED WITH 3 COURSES BELOW WALL PLATE. HOOP-IRON STRIPS FOR FINISH JOINT TO GO THROUGH CLOSURE AND TO LOCATE 7 TO 10 COURSES BELOW WALL PLATE LEVEL ALTERNATIVELY.
- WINDOWS AND DOORS:  
ALL WINDOWS AND SLIDING GLASS EX. INSPECT CATALOGUE OR EQUAL AND APPROVED. ALL DOORS EX. RUT-BRAND CATALOGUE OR EQUAL AND APPROVED. LIGHTING AND FINISHES TO COMPLY WITH LOCAL ALF-DIFFY REQUIREMENTS. DPC TO BE WRAPPED AROUND ALL WINDOW AND DOOR OPENINGS.
- DETAILS:  
TO BE LAID TO MANUFACTURER'S SPECIFICATION TO ALL OPENINGS >900mm.  
ALL OPENINGS <900mm TO HAVE MIN. 4 COURSES BRICKWORK WITH REINFORCE TO EACH COURSE.
- GLAZING:  
ALL GLAZING TO COMPLY WITH PART N OF SANS 1040. ALL GLAZING AREAS EXCEEDING 1m<sup>2</sup> OR LESS THAN 500mm ABOVE F.F.L. TO BE 5mm SAFETY GLASS.



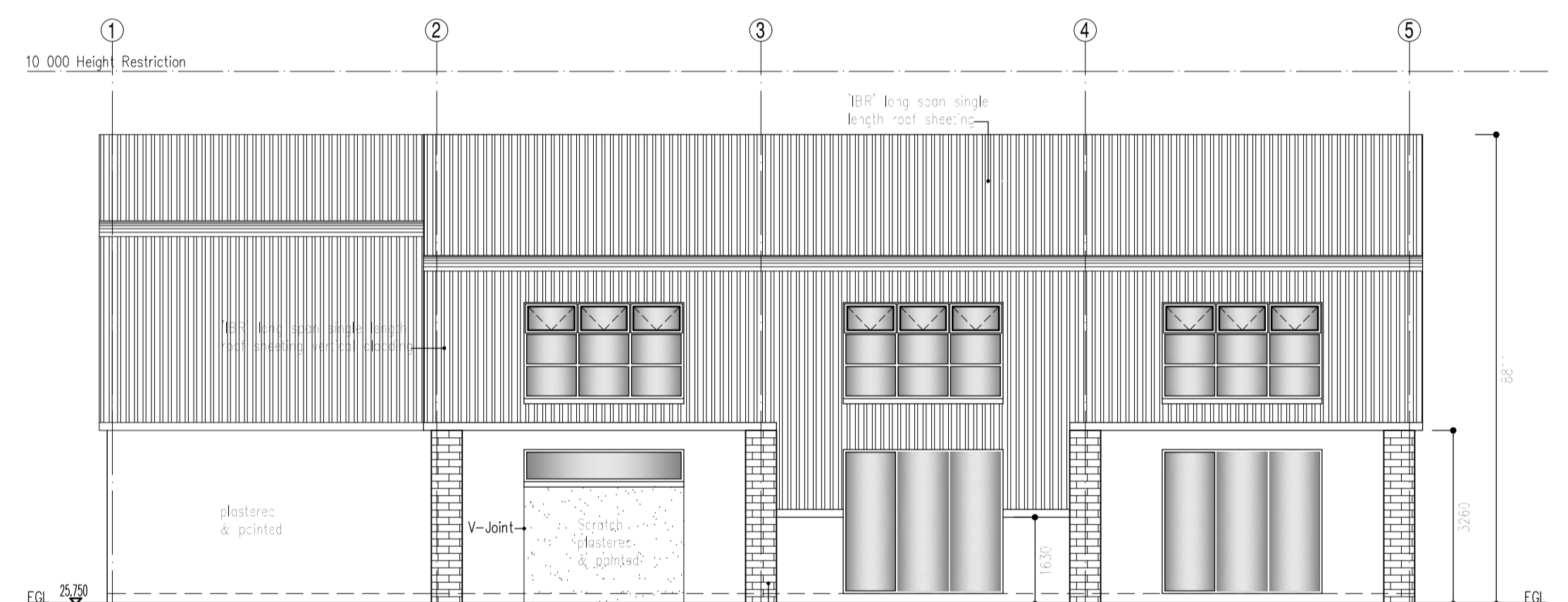
**SOUTH ELEVATION**  
BLOCK A  
SCALE 1:200



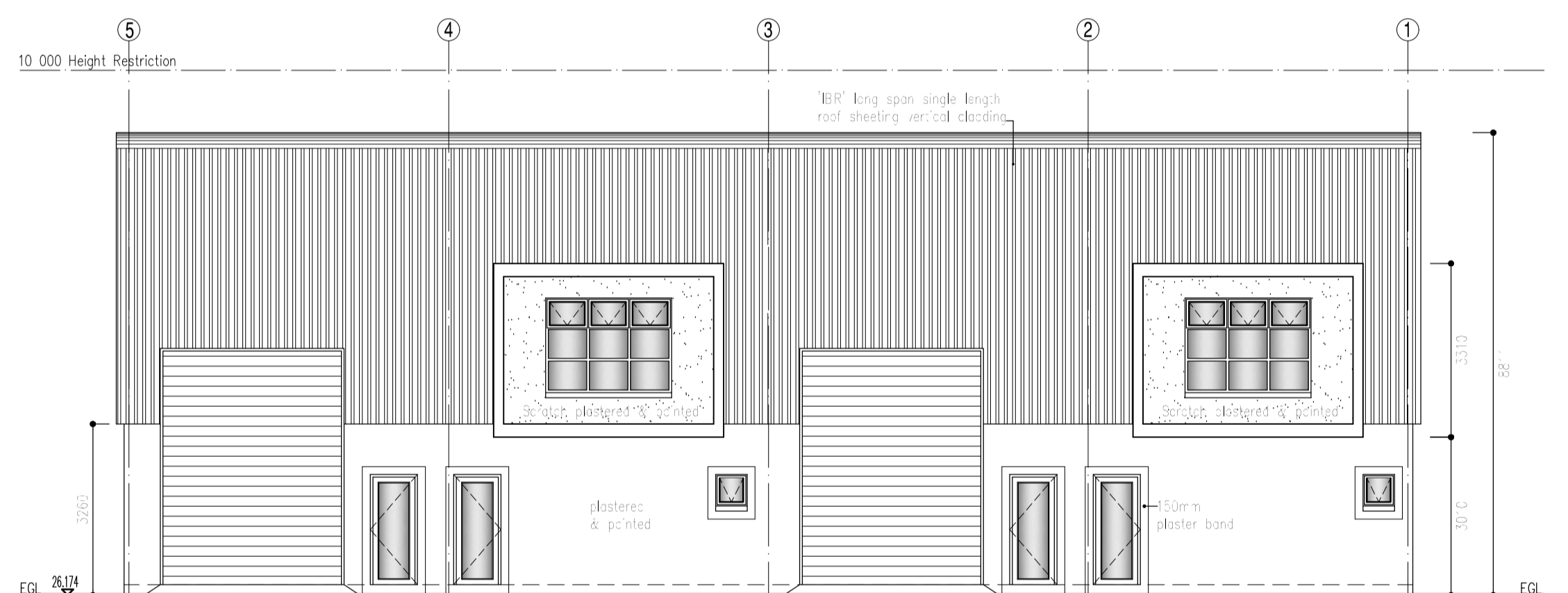
**NORTH ELEVATION**  
BLOCK A  
SCALE 1:200



**SECTION B-B**  
BLOCK A  
SCALE 1:100



**EAST ELEVATION**  
BLOCK A  
SCALE 1:200



**WEST ELEVATION**  
BLOCK A  
SCALE 1:200

**SCHEDULE OF SPECIAL WINDOWS & DOORS**

NOTE: Figures in brackets represents undistorted window opening sizes for Aluminium Frames

Window/Door	Size	Position	Frame	Glass	Quantity
W1	600x900	UNIT 1-10 WC	ALUMINIUM	SINGLE OBSCURE	10
W2	1800x1200	UNIT 8 OFFICE	ALUMINIUM	SINGLE OBSCURE	1
W3	1800x2100	UNIT 1-7 & 9-10 OFFICE	ALUMINIUM	DOUBLE CLEAR	11
W4	3000x2700	UNIT 2 & 9	ALUMINIUM	SINGLE CLEAR	3
W5	3000x2700	UNIT 1, 5 & 10	ALUMINIUM	SINGLE CLEAR	5
D1	900x2100	REFUSE RM	NATURAL FINISHED TIMBER	N/A	2
D2	900x2100	UNIT 1-10	ALUMINIUM	SINGLE CLEAR	21
D3	1800x2100	UNIT 7	NATURAL FINISHED TIMBER	N/A	2
D4	2400x2100	UNIT 1 & 10	ALUMINIUM	SINGLE CLEAR	2
D5	2400x2100	UNIT 1	ALUMINIUM	SINGLE CLEAR	1
W6	2400x1800	UNIT 1 & 10	ALUMINIUM	SINGLE CLEAR	1
W7	3000x1800	UNIT 1 & 2	ALUMINIUM	SINGLE CLEAR	3
D6	3500x1800	UNIT 1	ALUMINIUM	SINGLE CLEAR	1
W6	2400x1800	UNIT 1-10	ALUMINIUM	SINGLE CLEAR	10
W7	3000x1800	UNIT 1-10	ALUMINIUM	SINGLE CLEAR	2

**VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION**

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21	17/03/2022	T P	CLIENTS CHANGES

**BUILDING AREAS**

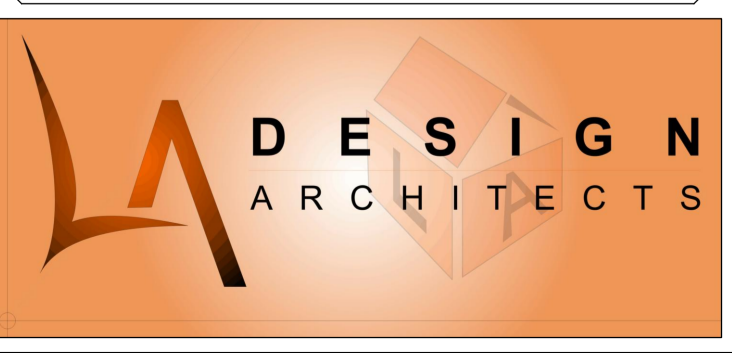
DESIGNER:	SITE AREA	BLOCK A	BLOCK B	BLOCK C	REFUSE ROOM	TOTAL
	3052sq/m	537,0sq/m	1296,0sq/m	696,0sq/m	12,0sq/m	2541,0sq/m

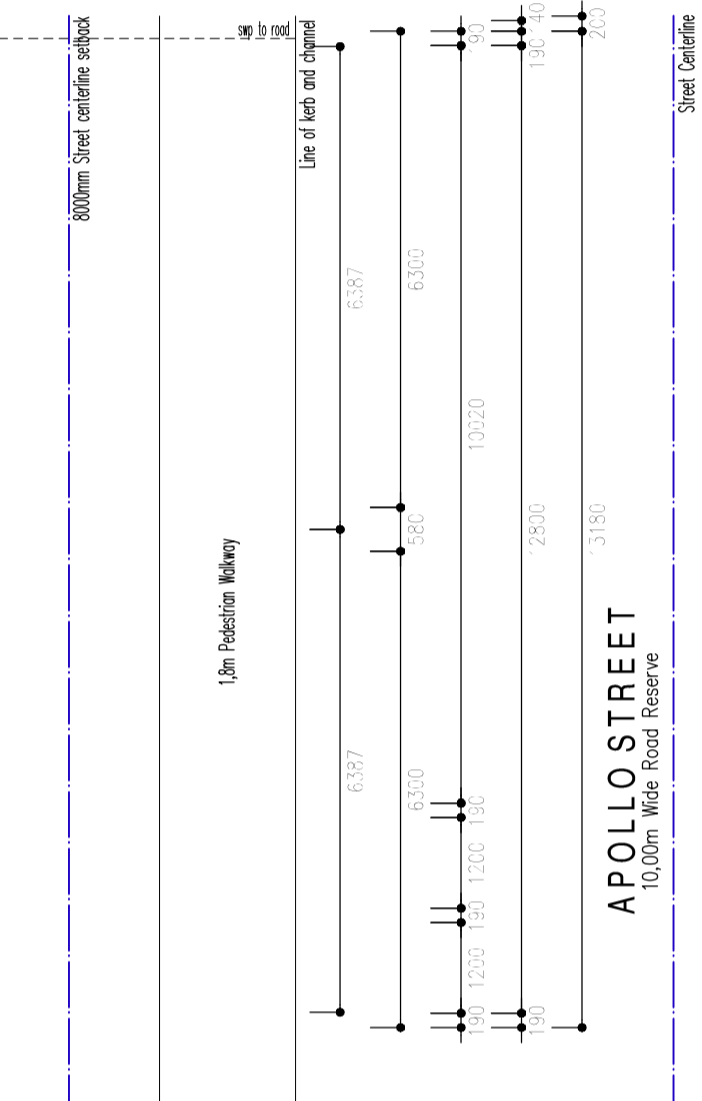
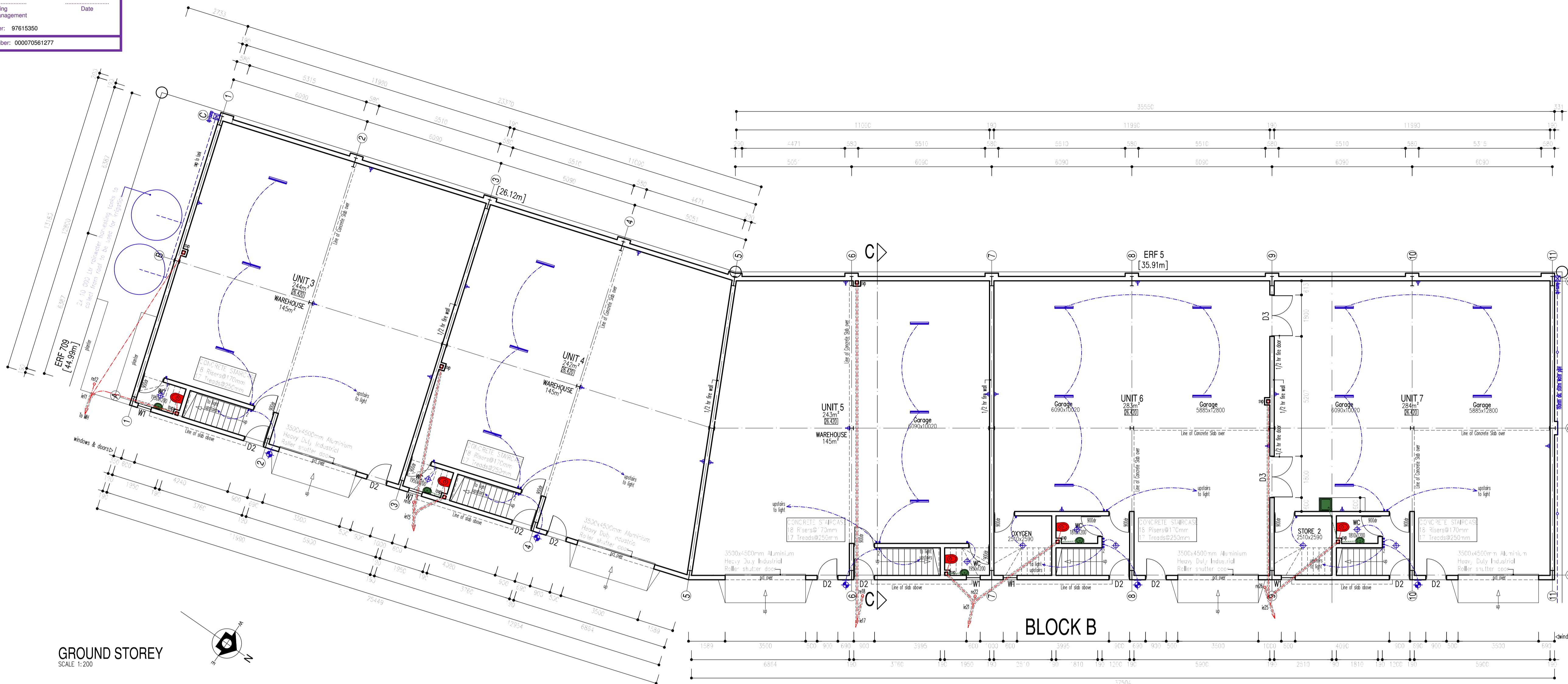
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**DRAWING:**  
COUNCIL DRAWINGS

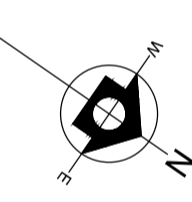
SHEET: 2 OF 9	SCALE: As Shown	REVISION: 2.0
DATE: 18/06/2021	FILE: 708-Rivergate	DRAWING No: 21-41

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E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288





**GROUND STOREY**  
SCALE 1:200



**BLOCK B**

**VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION**

REV	DATE	T P	CLIENT CHANGES
21	17/03/2022	TP	CLIENTS CHANGES

**BUILDING AREAS**

DESIGNER:	L A	SITE AREA	3052sq/m
		BLOCK A	537,0sq/m
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		REFUSE ROOM	12,0sq/m
		<b>TOTAL</b>	<b>2541,0sq/m</b>

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**DRAWING :**  
*COUNCIL DRAWINGS*

SHEET	SCALE	REVISION
3 OF 9	As Shown	2.0

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**DRAINAGE SECTION - RUN 1**  
SCALE 1:200

COVER	26 160	26 060	26 000	26 000	26 000	25 885	25 766	25 766	25 750	25 685	25 685
INVERT	25 1435	25 297	25 253	25 219	25 107	25 107	25 056	24 954	24 913	24 868	24 815
DEPTH	725	763	747	781	778	710	778	812	837	817	870
DISTANCE		16 630	5 270	4 050		13 430	6 100	710	4 950	5 390	6 360
FALL											

**DRAINAGE SECTION - RUN 2**  
SCALE 1:200

COVER	26 138	25 766
INVERT	25 134	25 056
DEPTH	893	812
DISTANCE	13 560	710
FALL	1 : 60	1 : 60

**DRAINAGE SECTION - RUN 2**  
SCALE 1:200

**DRAINAGE SECTION - RUN 3**  
SCALE 1:200

COVER	25 766	25 766
INVERT	25 134	25 056
DEPTH	632	710
DISTANCE	5 000	710
FALL	1 : 60	1 : 60

**DRAINAGE SECTION - RUN 3**  
SCALE 1:200

**DRAINAGE SECTION - RUN 4**  
SCALE 1:200

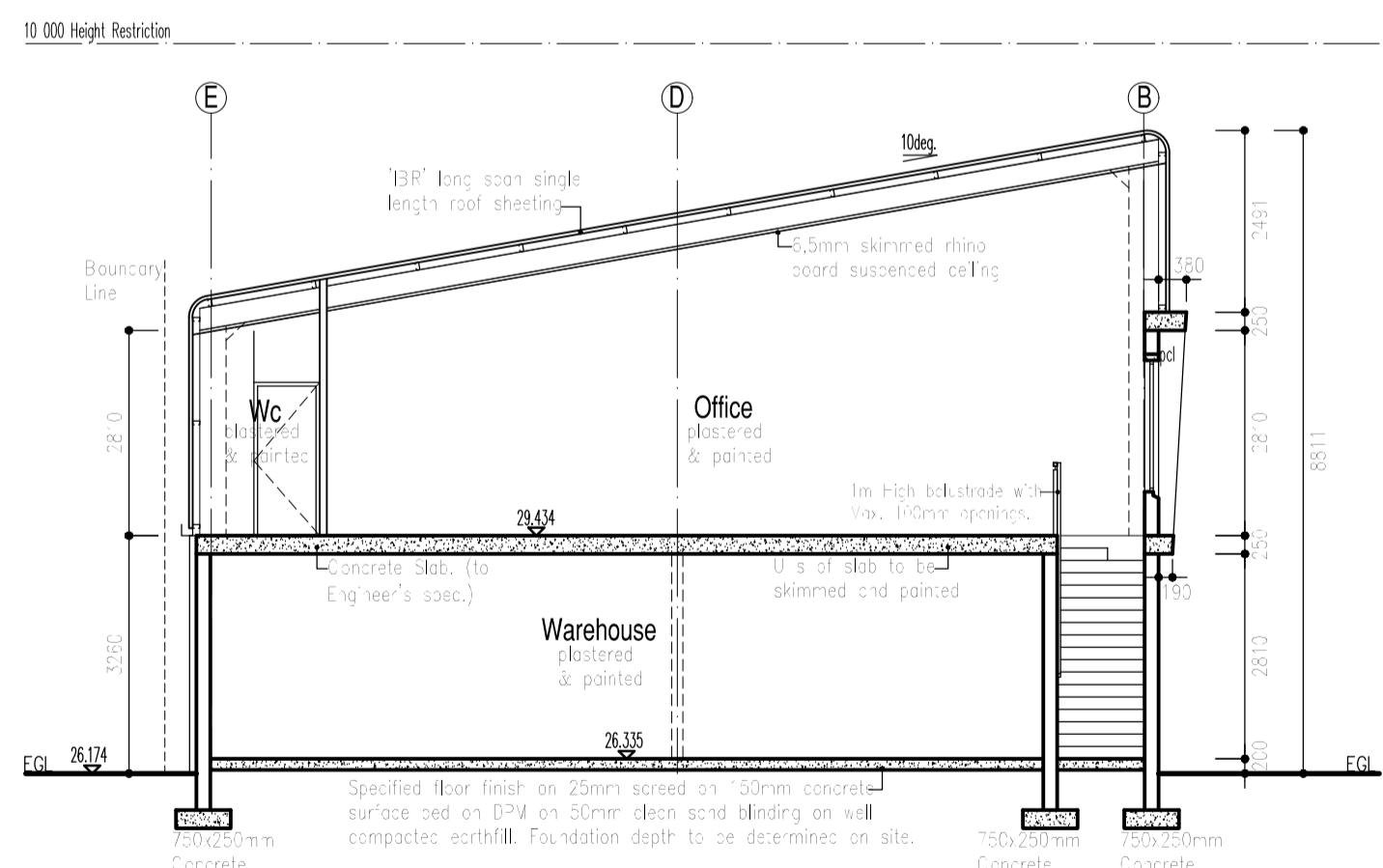
COVER	26 178	25 885
INVERT	25 308	25 107
DEPTH	870	778
DISTANCE	10 960	710
FALL	1 : 60	1 : 60

**DRAINAGE SECTION - RUN 4**  
SCALE 1:200

**DRAINAGE SECTION - RUN 5**  
SCALE 1:200

COVER	26 060	26 000
INVERT	25 341	25 253
DEPTH	719	747
DISTANCE	7 730	747
FALL	1 : 60	1 : 60

**DRAINAGE SECTION - RUN 5**  
SCALE 1:200



**SECTION C-C**  
SCALE 1:100

**STORMWATER NOTE:**  
1. A single bulk water & sewer connection to be provided to nearest public road reserve.  
2. Owner to be responsible for all internal services, distribution and maintenance.  
3. All stormwater to be taken to underground stormwater system (as per Engineer's dwg).

**PART-WORKS NOTE:**  
1. Facing street boundary wall to be demolished and replaced.  
2. All earthworks to be finished to create platform levels.  
3. All existing trees to be re-located in new positions as indicated on plan.  
4. Existing site and common boundary walls to remain.

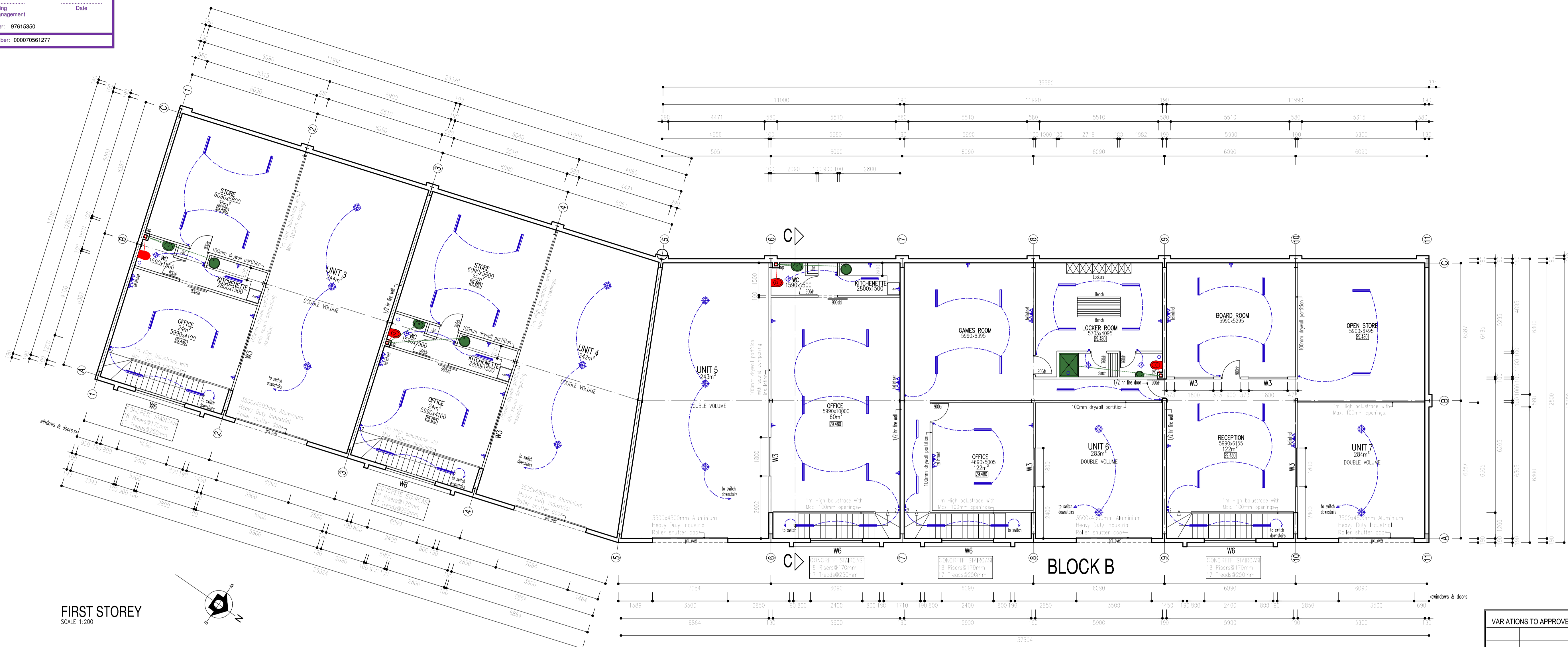
**All Structural Work to Be Verified By Engineer**

**NOTE:**  
• All lighting to be SMARTS per m<sup>2</sup> as per SANS 204.  
• The 'OOL' hot water cylinder is to be wrapped with a 80mm thick suitable insulating blanket, and an Escor approved heat pads must be fitted (Min. 'OOL' or equal approved).  
• All hot water piping to be insulated with Neoprene or equal approved as per SANS 204.

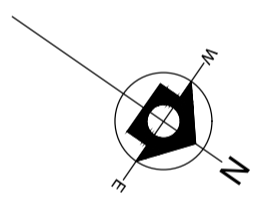
**ROOF ASSEMBLY:**

Min. requires 3x2x4	3,7-4
Reflective foil underlay R-value	0,25
BBF Roof sheeting & ceiling R-value	0,35
Fiberglass blanket 50mm R-value	3,35
<b>Total R-value</b>	<b>4,4</b>





**FIRST STOREY**  
SCALE 1:200



VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION			
21	17/03/2022	T P	CLIENTS CHANGES
REV:	DATE:	DRAWN:	DETAILS:

DRAWN : L A		BUILDING AREAS	
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		BLOCK C	696,0sq/m
		REFUSE ROOM	12,0sq/m
CLIENT:		TOTAL	2541,0sq/m

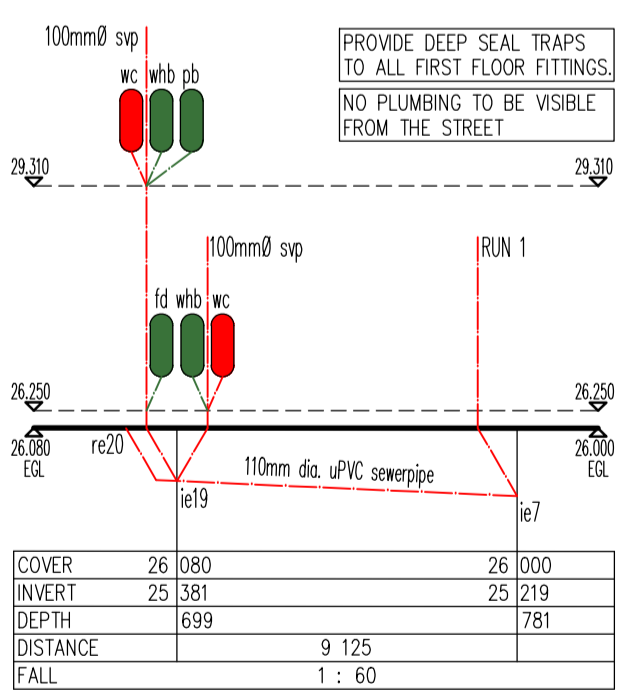


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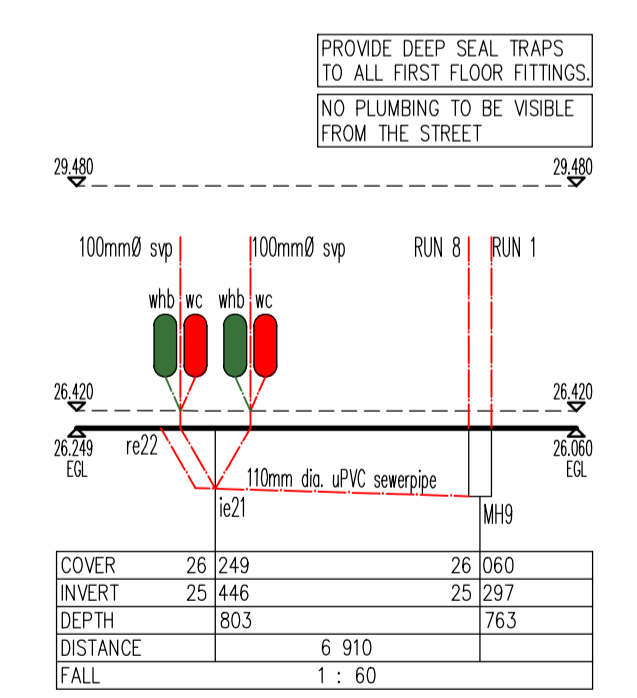
**DRAWING :**  
**COUNCIL DRAWINGS**

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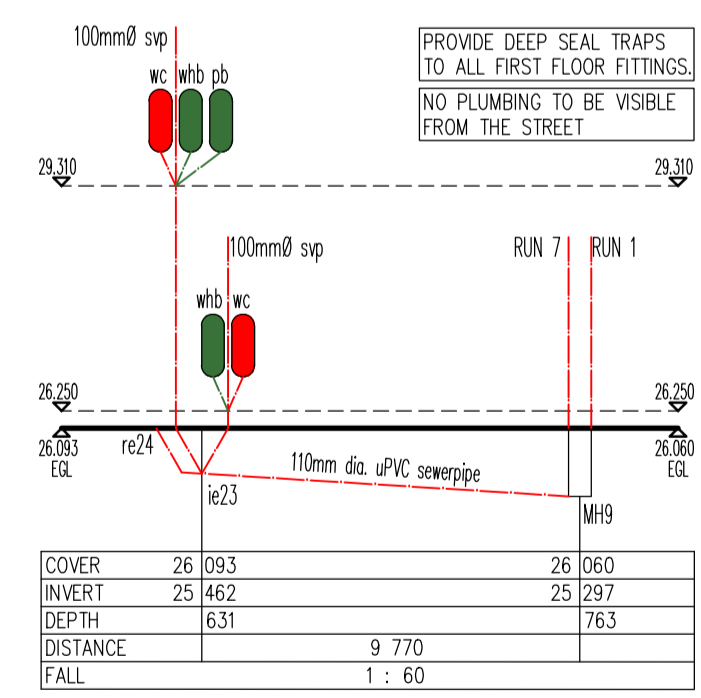
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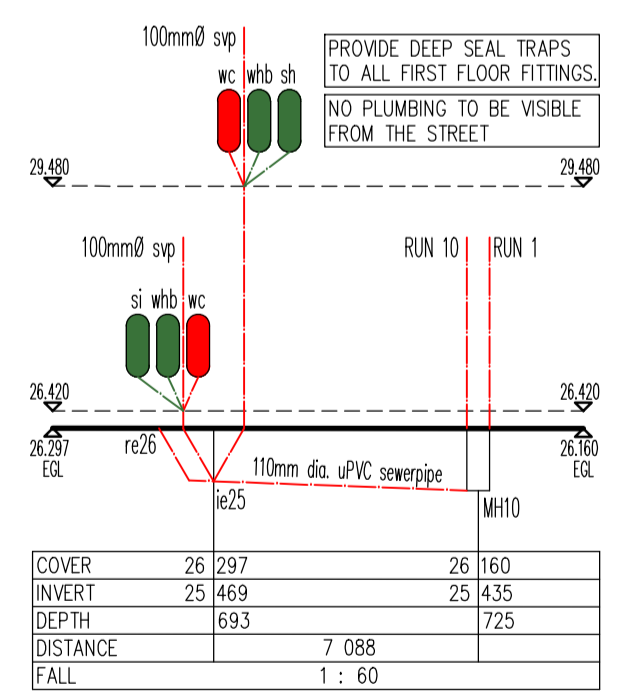
**DRAINAGE SECTION - RUN 6**  
SCALE 1:200



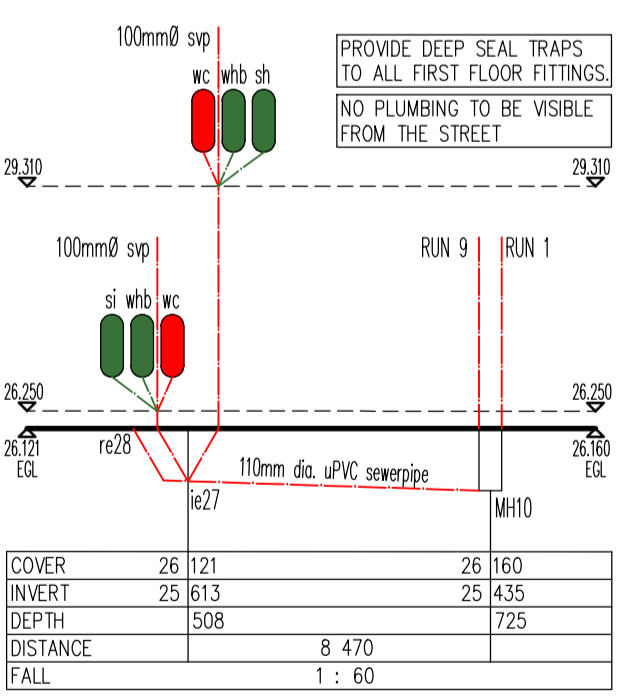
**DRAINAGE SECTION - RUN 7**  
SCALE 1:200



**DRAINAGE SECTION - RUN 8**  
SCALE 1:200



**DRAINAGE SECTION - RUN 9**  
SCALE 1:200



**DRAINAGE SECTION - RUN 10**  
SCALE 1:200

**NOTE:**  
 \* All lighting to be SWATS per m<sup>2</sup> at per SANS 204.  
 \* The '00L' hot water cylinder is to be wrapped with a 85mm thick suitable insulating blanket and/or Escor approved heat pads must be fitted. (Min. '00L' or equal approved).  
 \* All hot water pipes to be insulated with Neosure® or equal approved as per SANS 204.

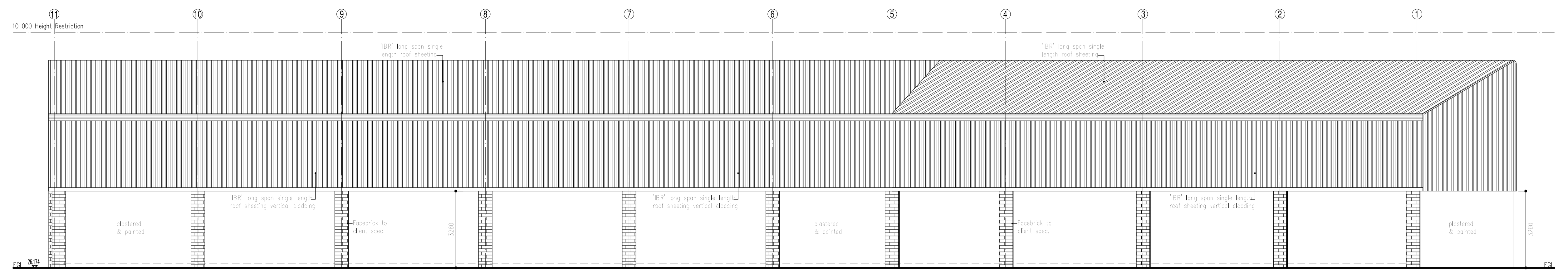
ROOF ACCESSIBLE	3,71	4,0
Min. require 3x2x4	0,75	
Reflective foil underlay R-value	0,35	
BBF Roof sheeting & ceiling R-value	5,35	
Fiberglass blanket 50mm R-value		1,4
Total R-value		11,4

**STORMWATER NOTE:**  
 1. A single bulk water & sewer connection to be provided to nearest public road reserve.  
 2. Owner to be responsible for all internal services, distribution and maintenance.  
 3. All stormwater to be taken to underground stormwater system. (As per Engineer's draw.)

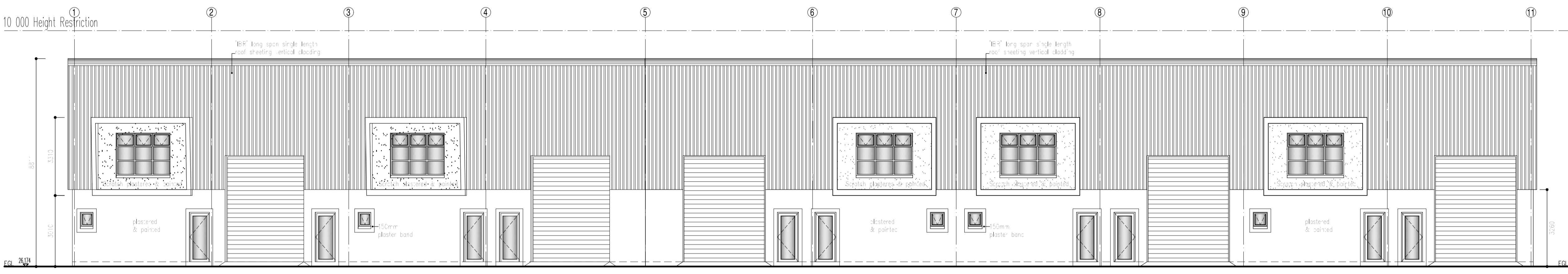
**PART-WORKS NOTE:**  
 1. Existing street boundary wall to be demolished and re-erected.  
 2. All earthworks to be finished to create platform levels.  
 3. All existing trees to be re-located in new positions as indicated on plan.  
 4. Existing site and common boundary walls to remain.

All Structural Work to Be Verified By Engineer

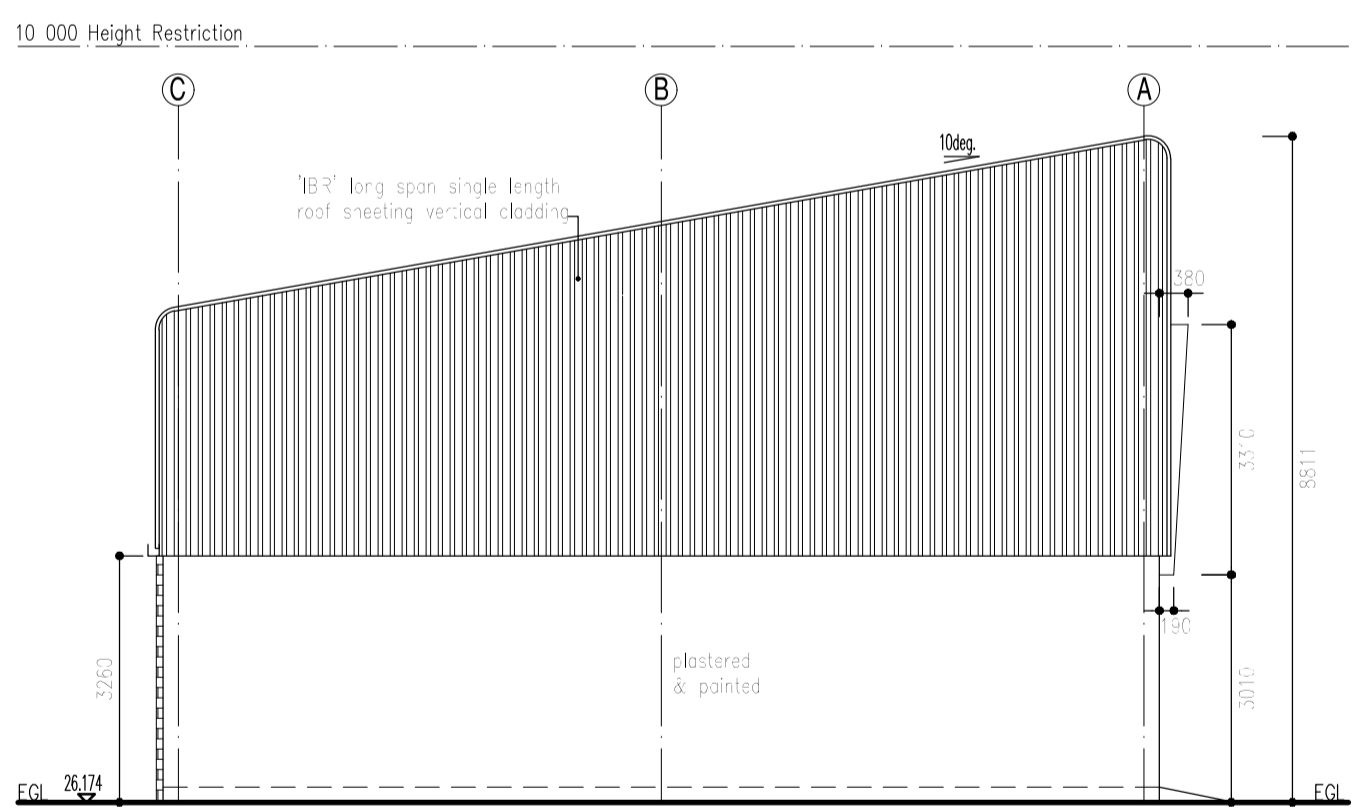




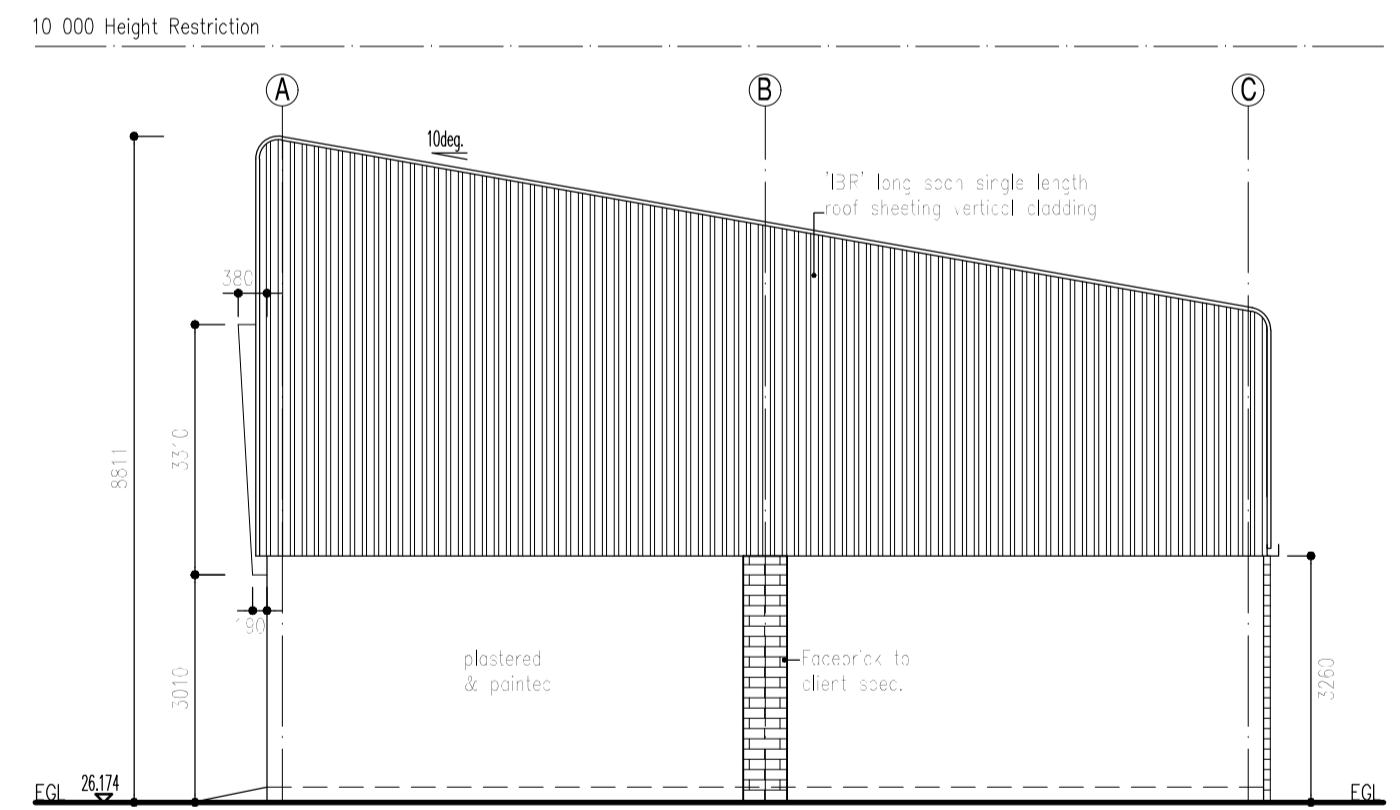
**SOUTH WEST ELEVATION**  
 BLOCK B  
 SCALE 1:200



**NORTH EAST ELEVATION**  
 BLOCK B  
 SCALE 1:200



**SOUTH ELEVATION**  
 BLOCK B  
 SCALE 1:200



**NORTH WEST ELEVATION**  
 BLOCK B  
 SCALE 1:200



VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION			
21	17/03/2022	T P	CLIENTS CHANGES
REV:	DATE:	DRAWN:	DETAILS:

DRAWN : L A		BUILDING AREAS	
DESIGNER:	[Signature]	SITE AREA	3052sq/m
		BLOCK A	537,0sq/m
		BLOCK B	1296,0sq/m
		BLOCK C	696,0sq/m
		REFUSE ROOM	12,0sq/m
CLIENT:		TOTAL	2541,0sq/m

**PROJECT :**  
**PROPOSED NEW UNITS FOR WESTCOAST PROPERTY INVESTMENTS (PTY) LTD ON ERF 708 RIVERGATE**

**DRAWING :**  
**COUNCIL DRAWINGS**

SHEET	SCALE :	REVISION :
5 OF 9	As Shown	2.0

DATE:	FILE :	DRAWING No :
18/06/2021	708-Rivergate	21-41

PO BOX 50456 WEST BEACH CELL:082 927 7735 FAX: 086 694 1667  
 E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288

**STORMWATER NOTE:**  
 1. A single bulk water & sewer connection to be provided to nearest public road reserve.  
 2. Owner to be responsible for all internal services, distribution and maintenance.  
 3. All stormwater to be taken to underground stormwater system. (See per Engineer's dwg).

**EARLY-WORKS NOTE:**  
 1. Facing street boundary wall to be demolished and re-erected.  
 2. All earthworks to be levelled to create platform levels.  
 3. All existing trees to be re-planted in new positions as indicated on plan.  
 4. Existing site and common boundary walls to remain.

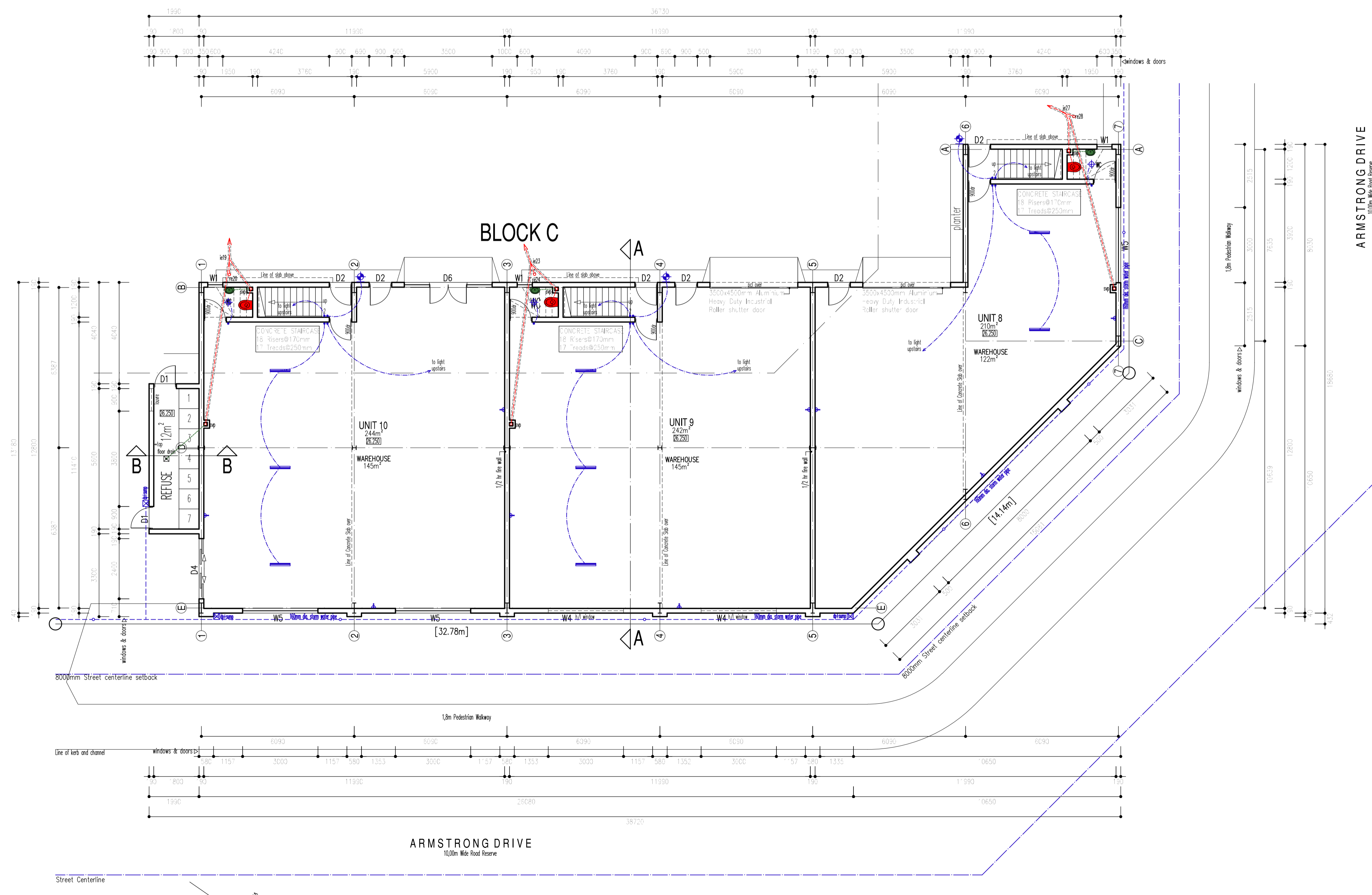
**All Structural Work to Be Verified By Engineer**

**NOTE:**  
 \* All lighting to be SMARTS per m<sup>2</sup> as per SANS 204.  
 \* The '00L' hot water cylinder is to be wrapped with a 80mm thick suitable insulating blanket and an Escor approved heat pipe must be fitted. (Min. '00L' or equal approved).  
 \* All hot water pipes to be insulated with 'Neoprene' or equal approved as per SANS 204.

ROOF ASSEMBLY:	
Min. required R-Value	3,7 m <sup>2</sup> ·K/W
Reflective foil underlay R-Value	0,25
180° Roof sheeting & ceiling R-Value	0,35
Fibreglass Blanket 50mm R-Value	3,35
<b>Total R-value</b>	<b>4,4</b>



**NOTES**



VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION			
21	17/03/2022	T P	CLIENTS CHANGES
REV:	DATE:	DRAWN:	DETAILS:

DRAWN:	L A	<b>BUILDING AREAS</b>
DESIGNER:	<i>[Signature]</i>	SITE AREA 3052sq/m
		BLOCK A 537,0sq/m
		BLOCK B 1296,0sq/m
		BLOCK C 696,0sq/m
		REFUSE ROOM 12,0sq/m
CLIENT:		<b>TOTAL 2541,0sq/m</b>

**PROJECT :**  
**PROPOSED NEW UNITS FOR WESTCOAST PROPERTY INVESTMENTS (PTY) LTD ON ERF 708 RIVERGATE**

**DRAWING :**  
**COUNCIL DRAWINGS**

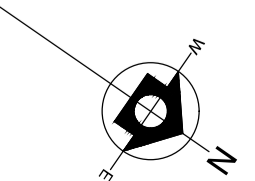
SHEET	SCALE :	REVISION :
6 OF 9	As Shown	2.0
DATE:	FILE :	DRAWING No :
18/06/2021	708-Rivergate	21-41

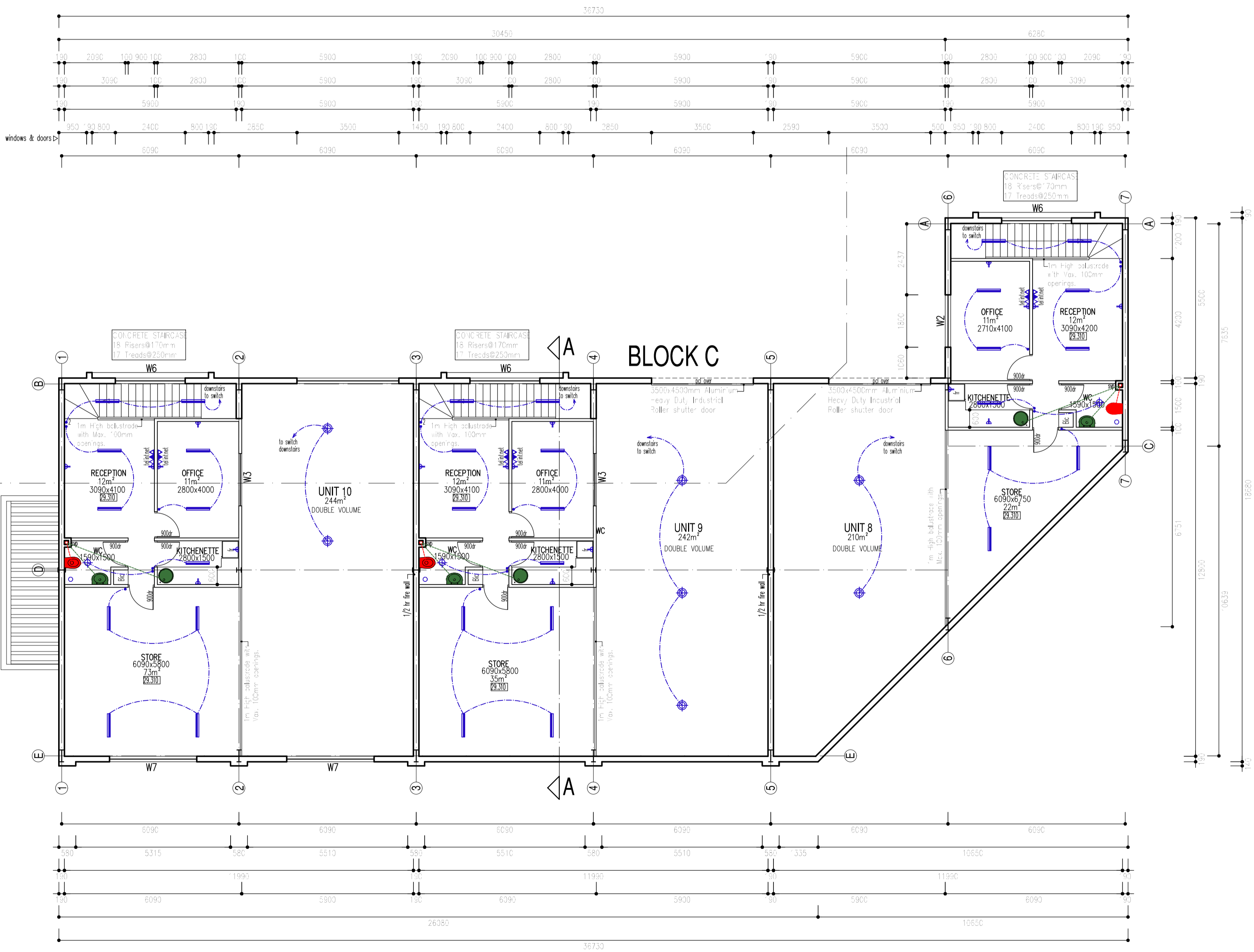
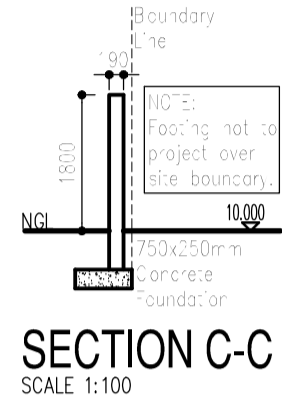
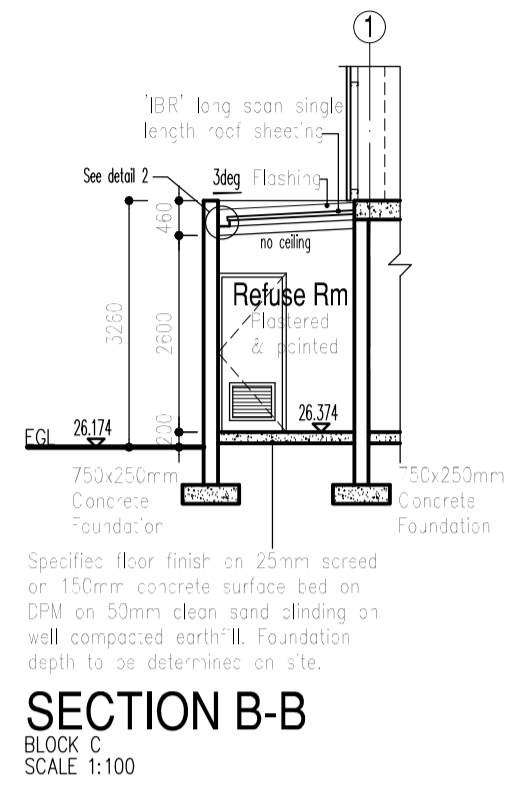
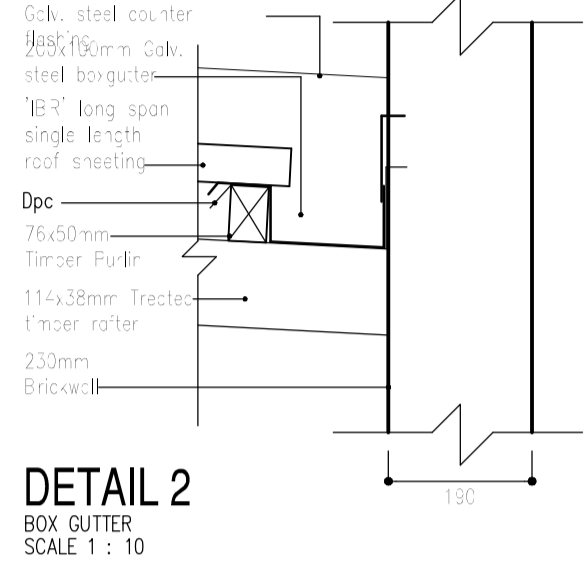
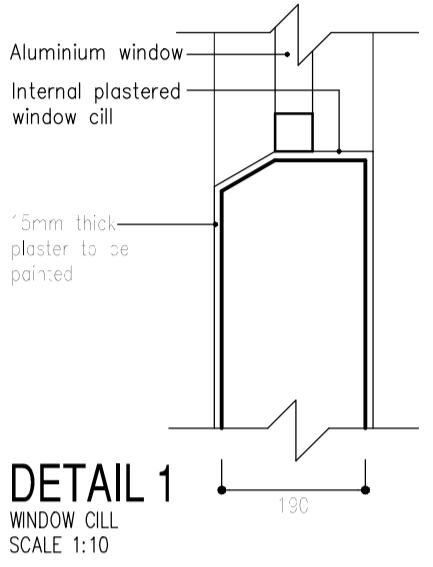
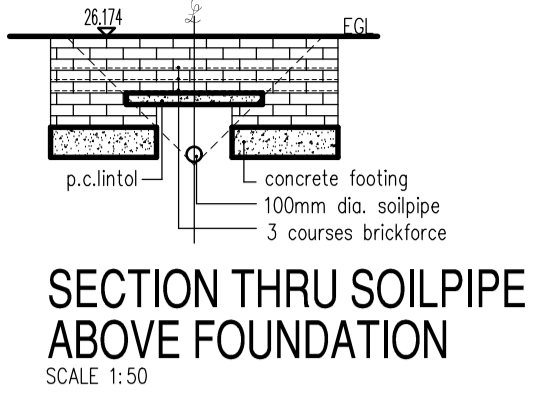
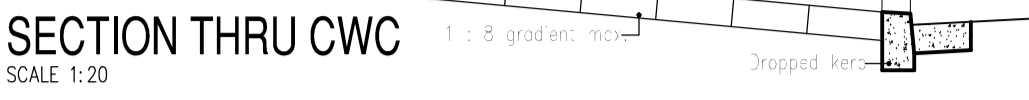
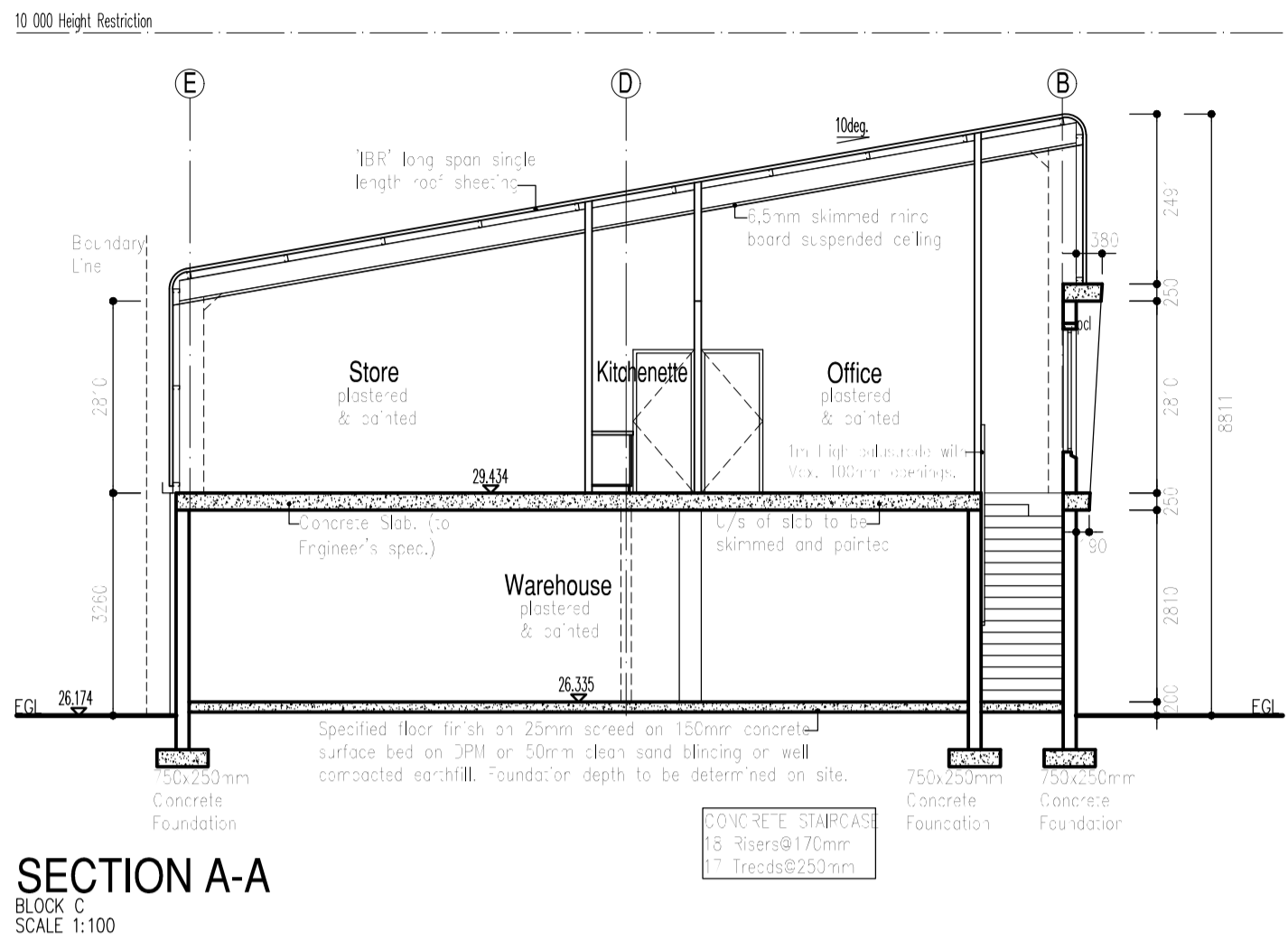
PO BOX 50456 WEST BEACH CELL:082 927 7735 FAX: 086 694 1667  
 E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288

- STORMWATER NOTE:**
1. A single bulk water & sewer connection to be provided to nearest public road reserve.
  2. Owner to be responsible for all internal services, distribution and maintenance.
  3. All stormwater to be taken to underground stormwater system (as per Engineer's dwg).
- EARLY-WORKS NOTE:**
1. Facing street boundary wall to be demolished and re-erected.
  2. All earthworks to be levelled to create platform levels.
  3. All existing trees to be re-located in new positions as indicated on plan.
  4. Existing site and common boundary walls to remain.
- All Structural Work to Be Verified By Engineer



GROUND STOREY  
 SCALE 1:200





**NOTES**

VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION				
REV:	DATE:	DRAWN:	DETAILS:	
21	17/03/2022	T P	CLIENTS CHANGES	

DRAWN : L A		BUILDING AREAS	
DESIGNER:		SITE AREA	3052sq/m
		BLOCK A	537,0sq/m
		BLOCK B	1296,0sq/m
		BLOCK C	696,0sq/m
		REFUSE ROOM	12,0sq/m
CLIENT:		TOTAL	2541,0sq/m

**PROJECT :**  
**PROPOSED NEW UNITS FOR WESTCOAST PROPERTY INVESTMENTS (PTY) LTD ON ERF 708 RIVERGATE**

**DRAWING :**  
**COUNCIL DRAWINGS**

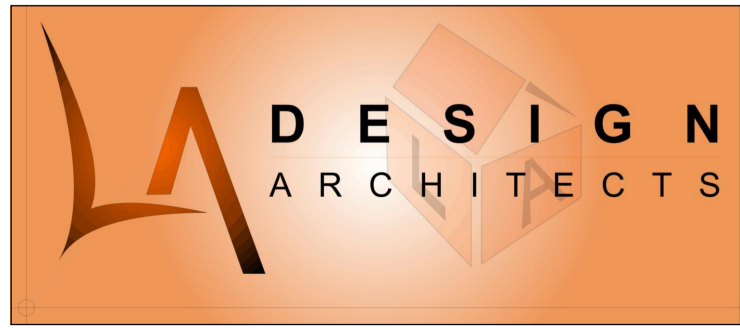
SHEET	SCALE :	REVISION :
7 OF 9	As Shown	2.0
DATE:	FILE :	DRAWING No :
18/06/2021	708-Rivergate	21-41

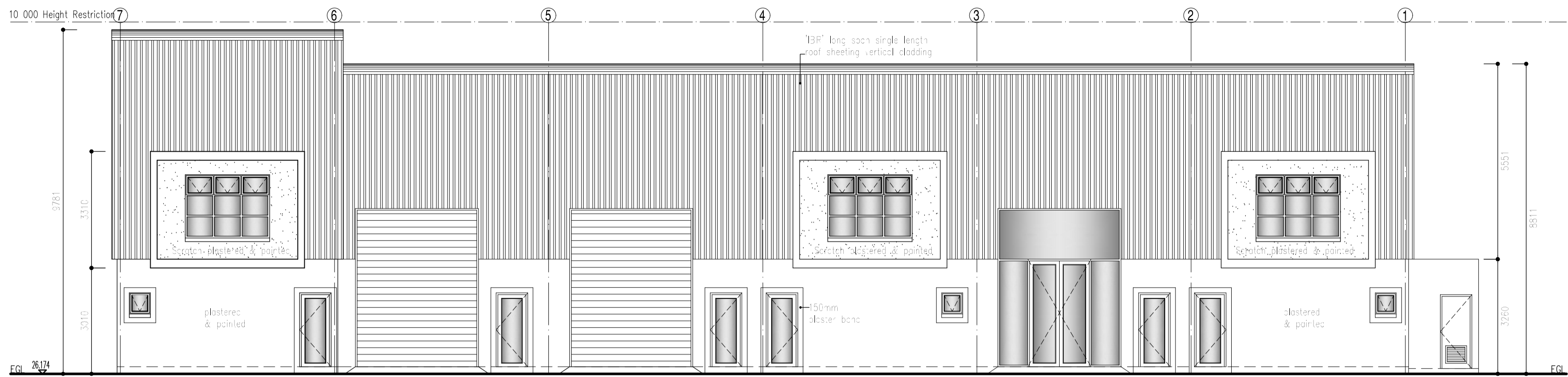
PO BOX 50456 WEST BEACH CELL:082 927 7735 FAX: 086 694 1667  
E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288

**STORMWATER NOTE:**  
1. A single bulk water & sewer connection to be provided to nearest public road reserve.  
2. Owner to be responsible for all internal services, distribution and maintenance.  
3. All stormwater to be taken to underground stormwater system (as per Engineer's dwg).  
**PART-WORKS NOTE:**  
1. Facing street boundary wall to be detailed and made good.  
2. All earthworks to be levelled to create platform levels.  
3. All existing trees to be re-located in new positions as indicated on plan.  
4. Existing site and common boundary walls to remain.  
**All Structural Work to Be Verified By Engineer**

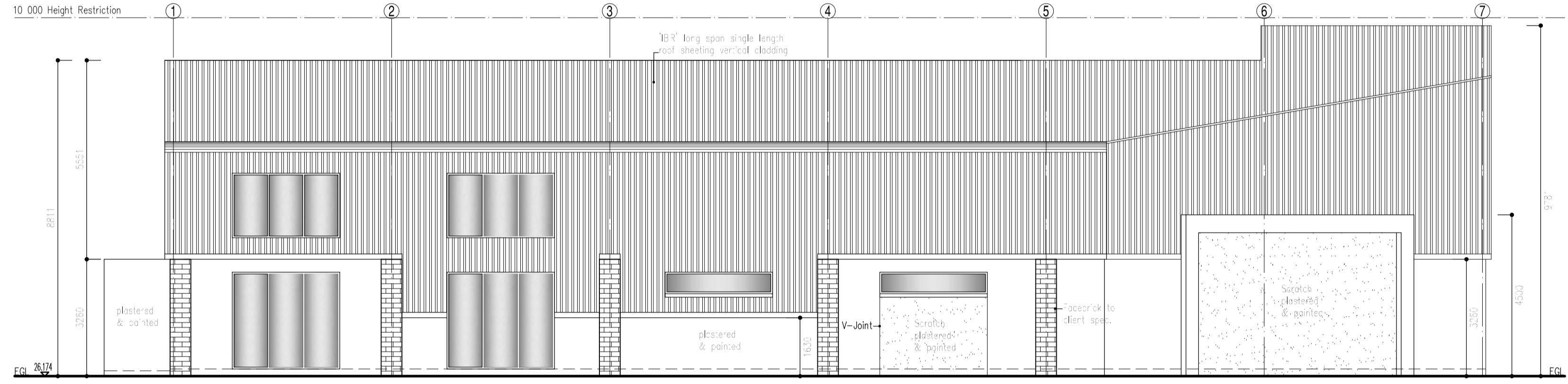
**NOTE:**  
\* All lighting to be SWATS per m<sup>2</sup> @ 100 lux per SANS 204.  
\* The 'OOL' hot water cylinder is to be wrapped with a 80mm thick suitable insulating blanket and an Escor approved heat pipe must be fitted. (Min. 'OOL' or equal & approved).  
\* All hot water piping to be insulated with Neozorex or equal approved as per SANS 204.

ROOF ASSEMBLY:		
Min. required	3-w/Value	3,7
Reflective foil underlay	R-Value	0,75
100mm long span single length roof sheeting	R-Value	0,35
Fiberglass Blanket 50mm	R-Value	3,35
<b>Total R-value</b>		<b>4,15</b>

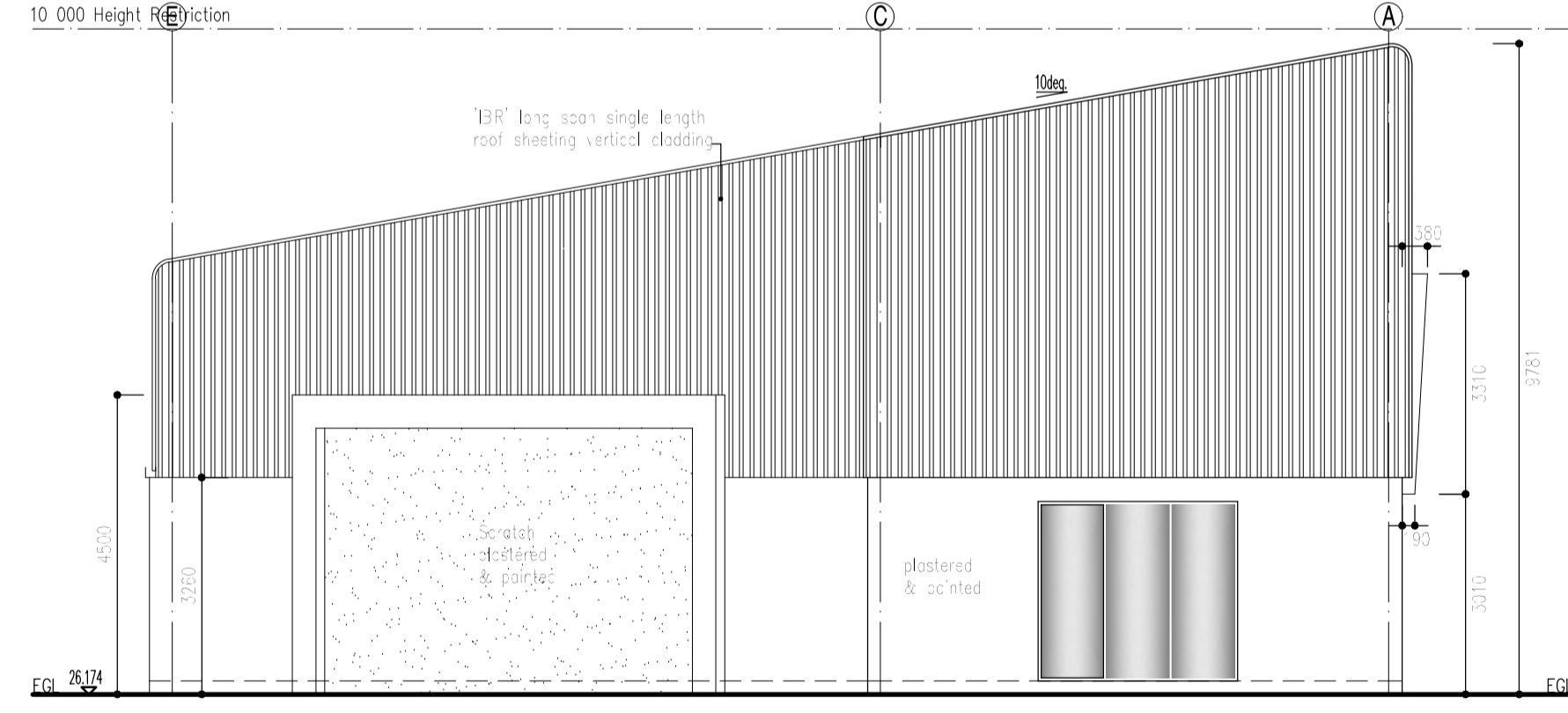




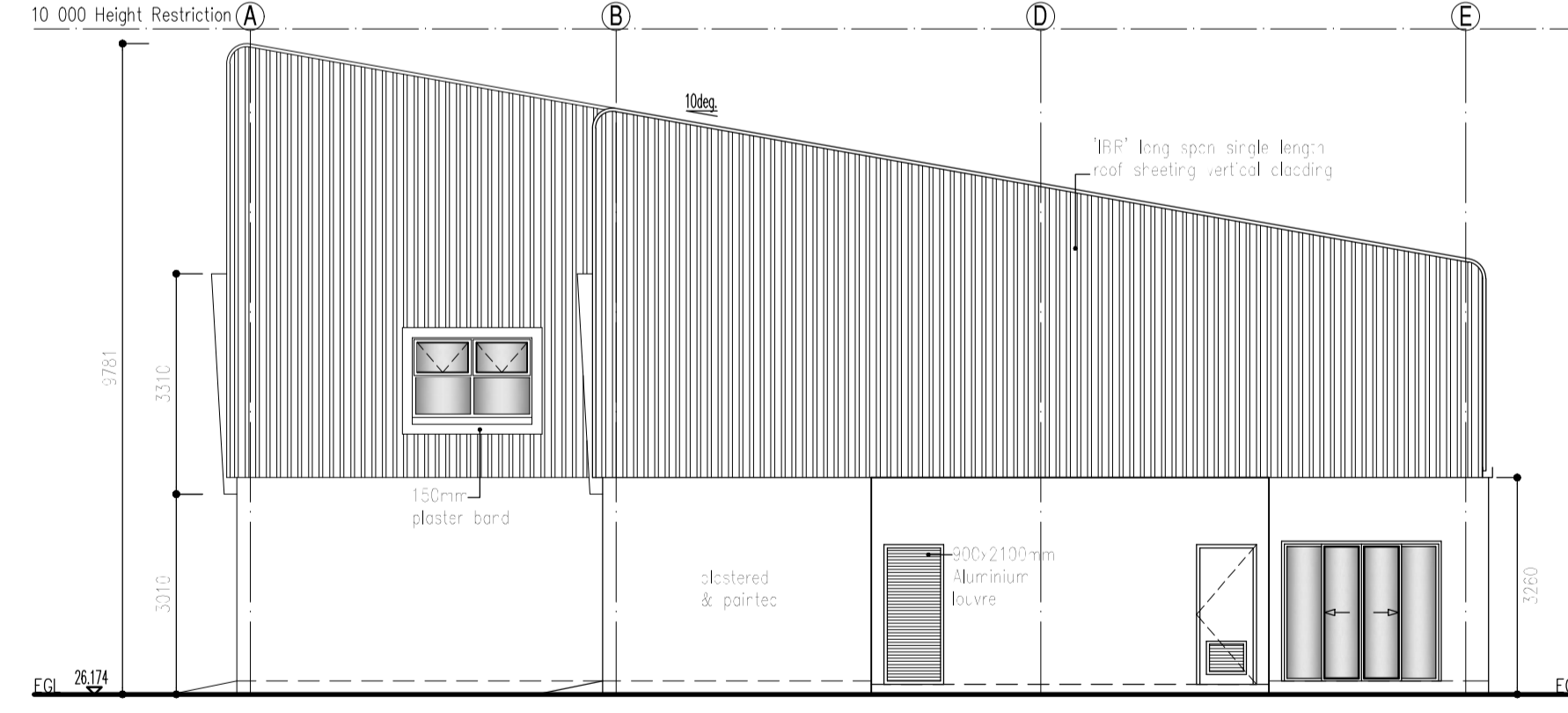
**SOUTH WEST ELEVATION**  
 BLOCK C  
 SCALE 1:200



**NORTH EAST ELEVATION**  
 BLOCK C  
 SCALE 1:200



**NORTH WEST ELEVATION**  
 BLOCK C  
 SCALE 1:200



**SOUTH EAST ELEVATION**  
 BLOCK C  
 SCALE 1:200



**NOTES**

NOTES

VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION			
21	17/03/2022	T P	CLIENTS CHANGES
REV:	DATE:	DRAWN:	DETAILS:

DRAWN : L A		BUILDING AREAS	
DESIGNER:	<i>[Signature]</i>	SITE AREA	3052sq/m
		BLOCK A	537,0sq/m
		BLOCK B	1296,0sq/m
		BLOCK C	696,0sq/m
		REFUSE ROOM	12,0sq/m
CLIENT:		TOTAL	2541,0sq/m

**PROJECT :**  
**PROPOSED NEW UNITS FOR WESTCOAST PROPERTY INVESTMENTS (PTY) LTD ON ERF 708 RIVERGATE**

**DRAWING :**  
**COUNCIL DRAWINGS**

SHEET	SCALE :	REVISION :
8 OF 9	As Shown	2.0
DATE:	FILE :	DRAWING No :
18/06/2021	708-Rivergate	21-41

PO BOX 50456 WEST BEACH CELL:082 927 7735 FAX: 086 694 1667  
 E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288

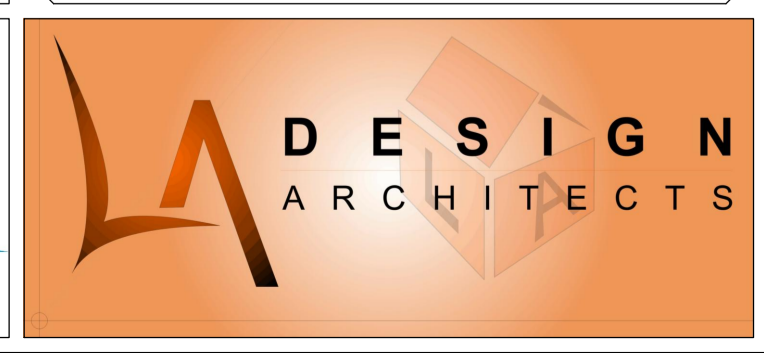
**NOTE:**  
 \* All lighting to be SMARTS per m<sup>2</sup> as per SANS 204.  
 \* The 'OOL' hot water cylinder is to be wrapped with a 85mm thick suitable insulating blanket and an Escor approved heat pipes must be fitted. (Min. 'OOL' or equal & approved).  
 \* All hot water pipes to be insulated with 'Nozonex' or equal approved as per SANS 204.

**ROOF ASSEMBLY:**  
 Min. requires 3=2/100 3,7=1=100  
 Reflective foil underlay R-Value 0,75  
 180° Roof sheeting & ceiling R-Value 0,35  
 Fiberglass Blanket 50mm R-Value 3,35  
 Total R-Value 4,45

**STORMWATER NOTE:**  
 1. A single bulk water & sewer connection to be provided to nearest public road reserve.  
 2. Owner to be responsible for all internal services, distribution and maintenance.  
 3. All stormwater to be taken to underground stormwater system. (As per Engineer's dwg.)

**EARLY-WORKS NOTE:**  
 1. Facing street boundary wall to be demolished and re-erected.  
 2. All earthworks to be finished to create platform levels.  
 3. All existing trees to be re-located in new positions as indicated on plan.  
 4. Existing site and common boundary walls to remain.

All Structural Work to Be Verified By Engineer





NOTES

VARIATIONS TO APPROVED PLANS FOR CONSTRUCTION

REV:	DATE:	DRAWN:	DETAILS:
21	17/03/2022	T P	CLIENTS CHANGES

DRAWN:	L A	<b>BUILDING AREAS</b>
DESIGNER:	<i>[Signature]</i>	SITE AREA 3052sq/m
		BLOCK A 537,0sq/m
		BLOCK B 1296,0sq/m
		BLOCK C 696,0sq/m
		REFUSE ROOM 12,0sq/m
CLIENT:		TOTAL 2541,0sq/m

**PROJECT :**  
PROPOSED NEW UNITS  
FOR WESTCOAST PROPERTY  
INVESTMENTS (PTY) LTD  
ON ERF 708 RIVERGATE

**DRAWING :**  
COUNCIL DRAWINGS

SHEET	SCALE :	REVISION :
9 OF 9	As Shown	2.0
DATE:	FILE :	DRAWING No :
18/06/2021	708-Rivergate	21-41

PO BOX 50456 WEST BEACH CELL:082 927 7735 FAX: 086 694 1667  
E-MAIL: les@ladesign.co.za SACAP Pr. No. ST1288

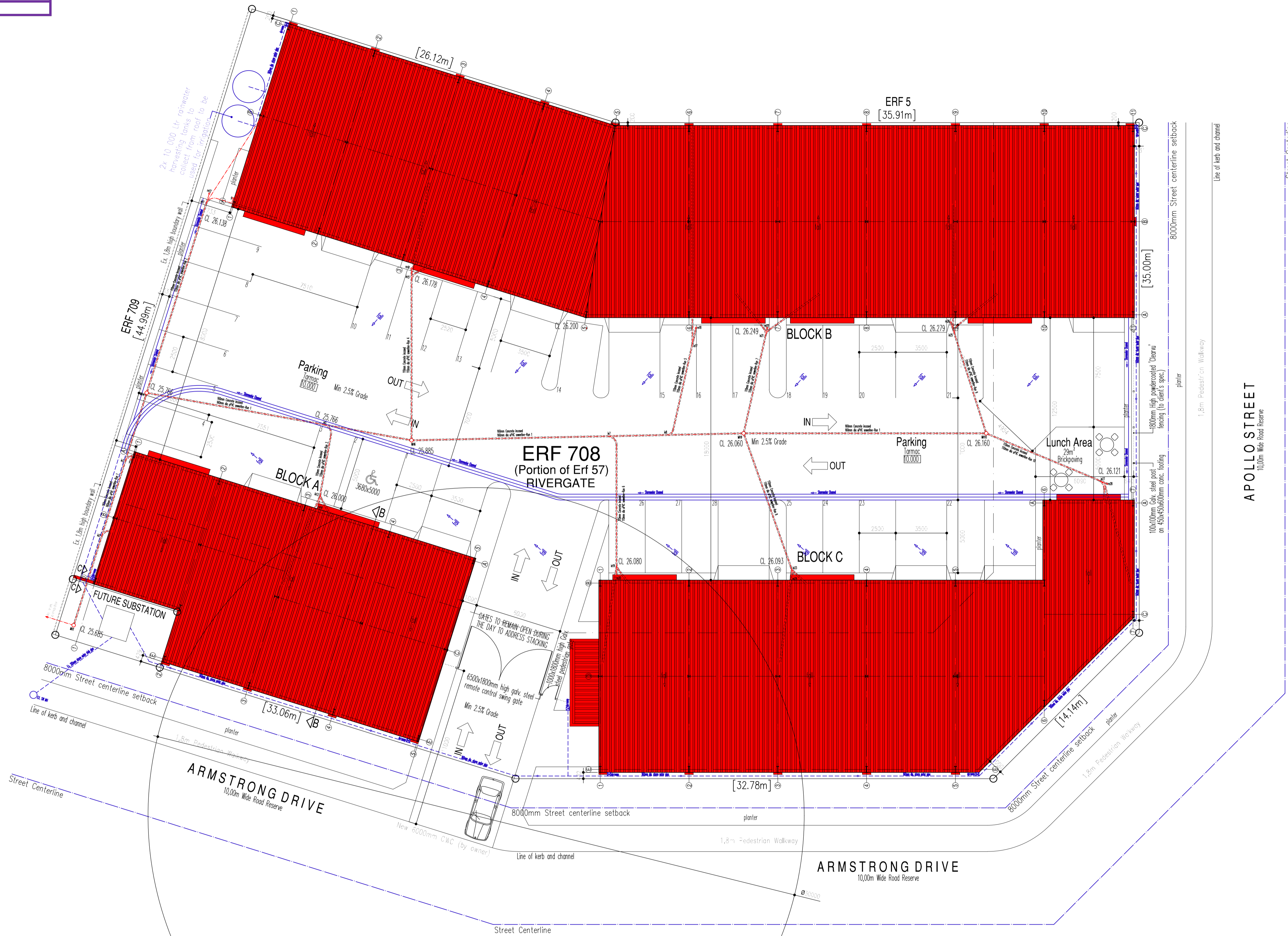
- STORMWATER NOTE:**
- A single bulk water & sewer connection to be provided to nearest public road reserve.
  - Owner to be responsible for all internal services, distribution and maintenance.
  - All stormwater to be taken to underground stormwater system. (See per Engineer's dwg).
- EARLY-WORKS NOTE:**
- Existing street boundary wall to be demolished and re-erected.
  - All earthworks to be finished to create platform levels.
  - All existing trees to be re-located or new positions as indicated on plan.
  - Planting size and common botanical walls to remain.

**NOTE:**

- All lighting to be SMARTS per m<sup>2</sup> as per SANS 204.
- The '00L' hot water cylinder is to be wrapped with a 85mm thick suitable insulating blanket, and an Escor approved heat points must be fitted. (Min. '00L' or equal approved).
- All hot water piping to be insulated with 'Norsorex' or equal approved as per SANS 204.

**ROOF ASSEMBLY:**

Min. requires 3x24hr	3,7 m <sup>2</sup> /m <sup>2</sup>
Reflective foil underlay R-Value	0,75
BER <sup>1</sup> Roof sheathing & ceiling R-Value	0,35
Fiberglass blanket 50mm R-Value	3,35
<b>Total R-value</b>	<b>4,4</b>



**SITE & ROOF PLAN**  
SCALE 1:150

