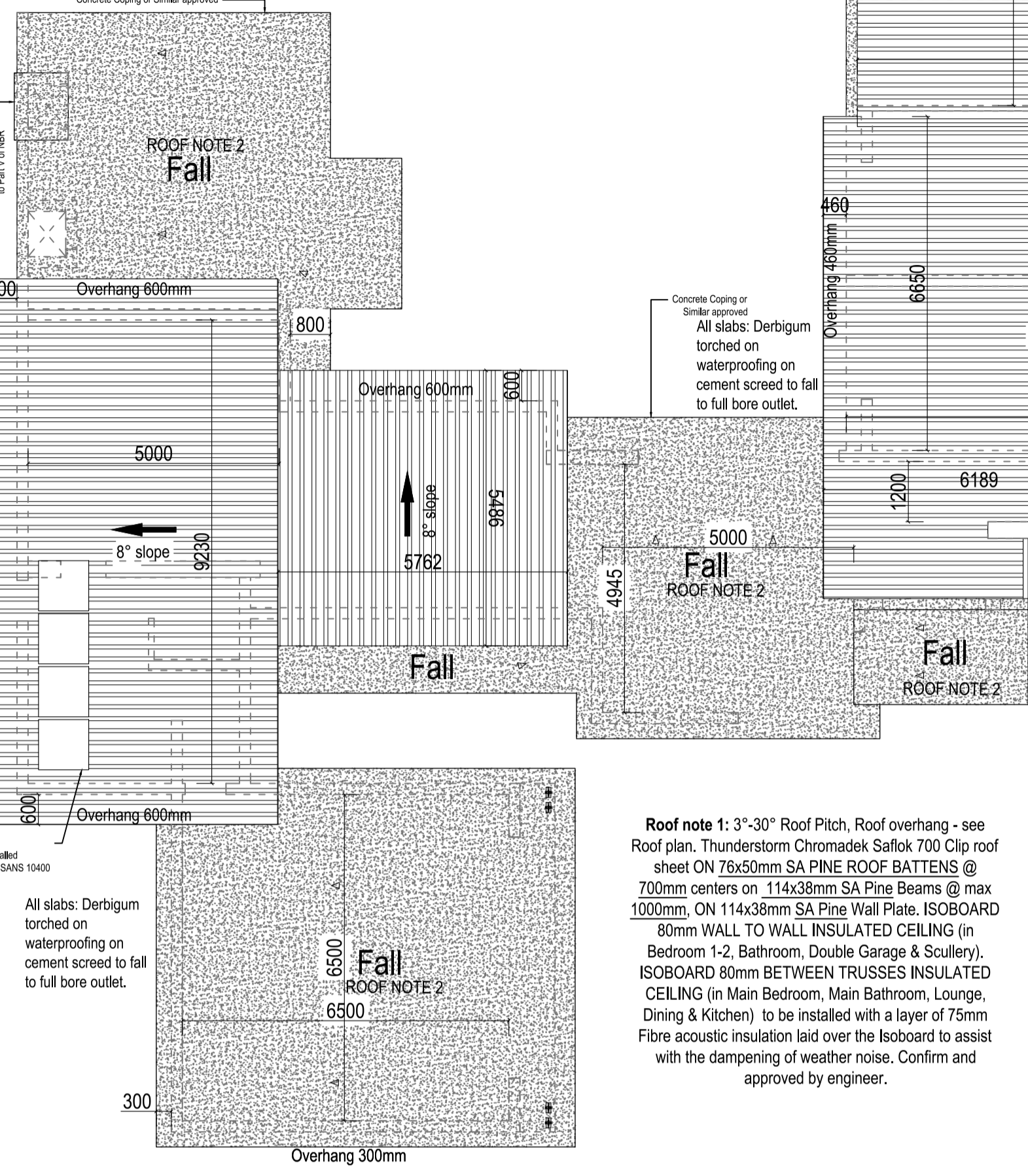


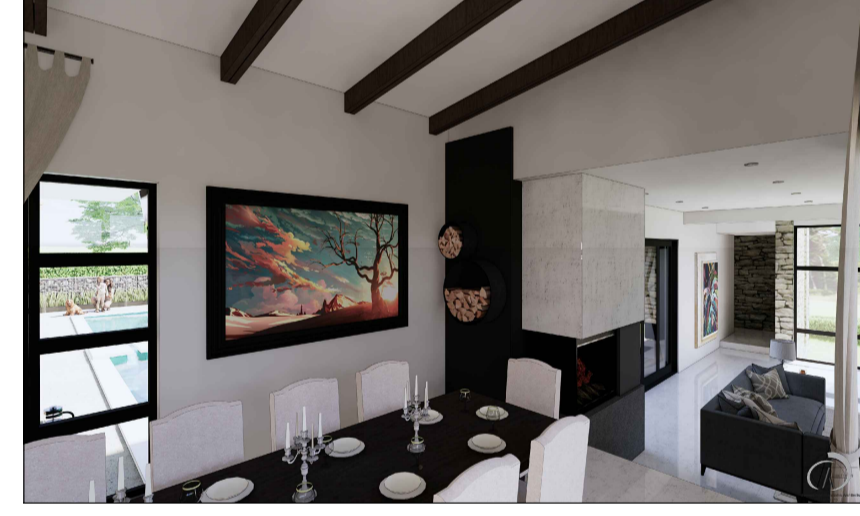
Roof note 2: Reinforced concrete slab roof acc to eng specs & specialist erection. Min 30mm screed with 1:80 fall away from building to Full bore outlet (see detail). Derbigum or Similar approved waterproofing One layer Derbigum SP4 waterproofing membrane, with 75mm side laps and 100mm end laps, sealed to primed surface to falls and crossfalls by "torch-fusion" including protection of 50mm thick layer clean 19-25mm crushed stone on Interdek separation layer. Waterproofing to be installed by an Approved Derbigum Contractor under a ten year guarantee. A stone-guard or band of larger stones should be positioned around the outlets so as to ensure that the smaller stone is not "washed" down the outlets. Confirm and approved by engineer.



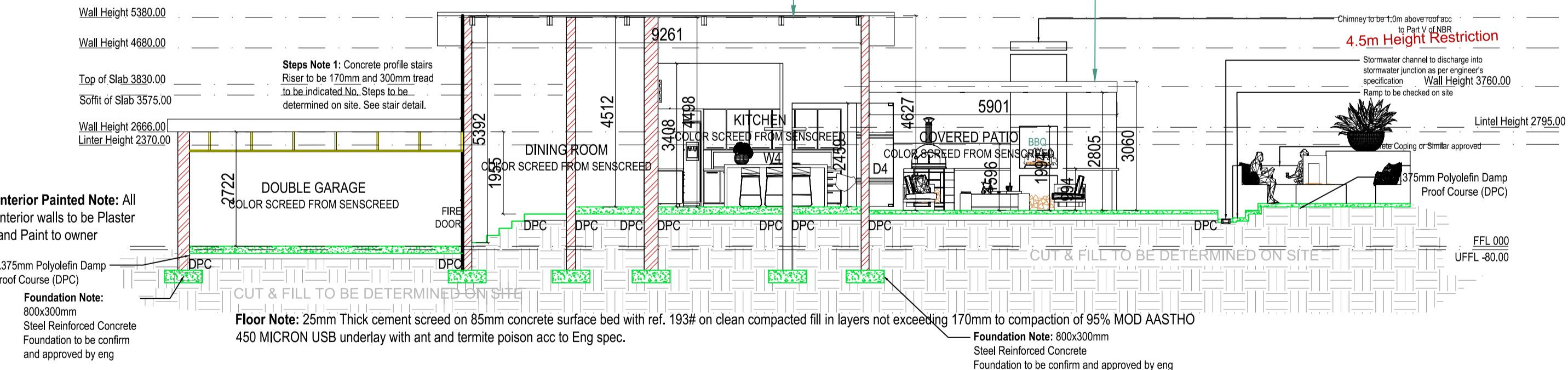
ROOF PLAN Scale 1:100

Roof note 1: 3°-30° Roof Pitch, Roof overhang - see Roof plan. Thunderstorm Chromadek Saflok 700 Clip roof sheet ON 76x50mm SA PINE ROOF BATTENS @ 700mm centers on 114x38mm SA Pine Beams @ max 1000mm, ON 114x38mm SA Pine Wall Plate. ISOBOARD 80mm BETWEEN TRUSSES INSULATED CEILING (in Bedroom 1-2, Bathroom, Double Garage & Scullery). ISOBOARD 80mm BETWEEN TRUSSES INSULATED CEILING (in Main Bedroom, Main Bathroom, Lounge, Dining & Kitchen) to be installed with a layer of 75mm Fibre acoustic insulation laid over the Isoboard to assist with the dampening of weather noise. Confirm and approved by engineer.

Roof note 3: 3° Roof Pitch, Roof overhang - see Roof plan. Thunderstorm Chromadek Saflok 700 Clip roof sheet ON 50x50mm STEEL SQUARE TUBING @ 700mm centers on 50x50mm STEEL SQUARE TUBING @ max 700mm, FIXED TO 250x100mm STEEL RECTANGULAR TUBING. Confirm and approved by engineer.

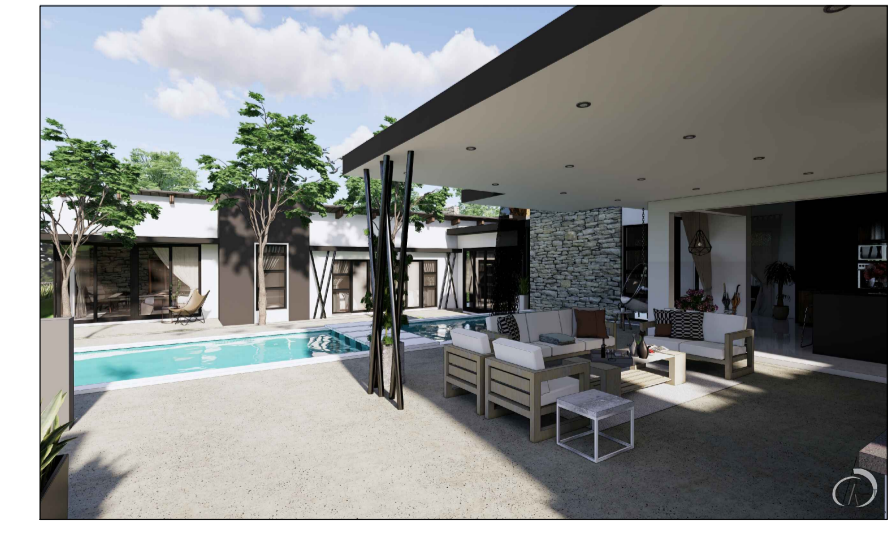
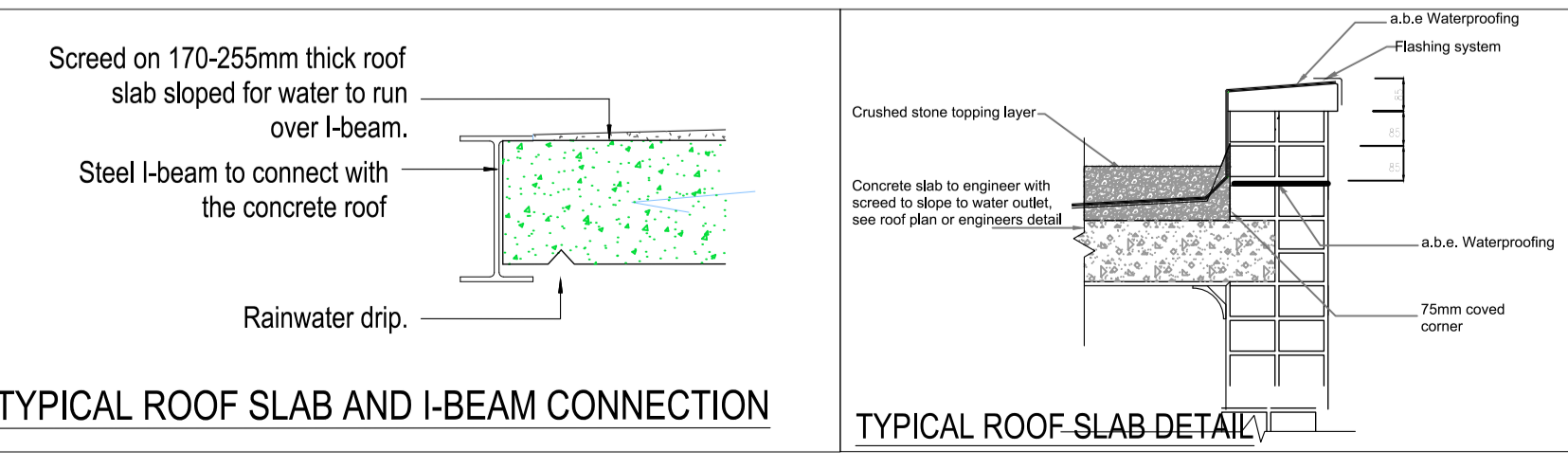


Roof note 3: 3° Roof Pitch, Roof overhang - see Roof plan. Thunderstorm Chromadek Saflok 700 Clip roof sheet ON 50x50mm STEEL SQUARE TUBING @ 700mm centers on 50x50mm STEEL SQUARE TUBING @ max 700mm, FIXED TO 250x100mm STEEL RECTANGULAR TUBING. Confirm and approved by engineer.

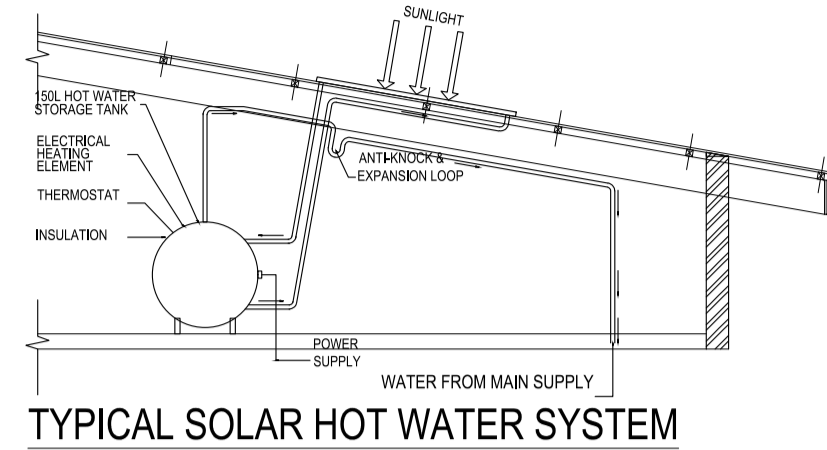
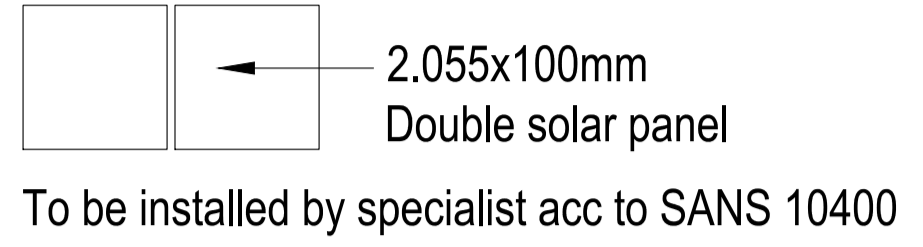


SECTION A-A Scale 1:100

NOTE: ALL SLOPES AND LEVELS TO BE CHECKED BY ENG ON SITE SECTION

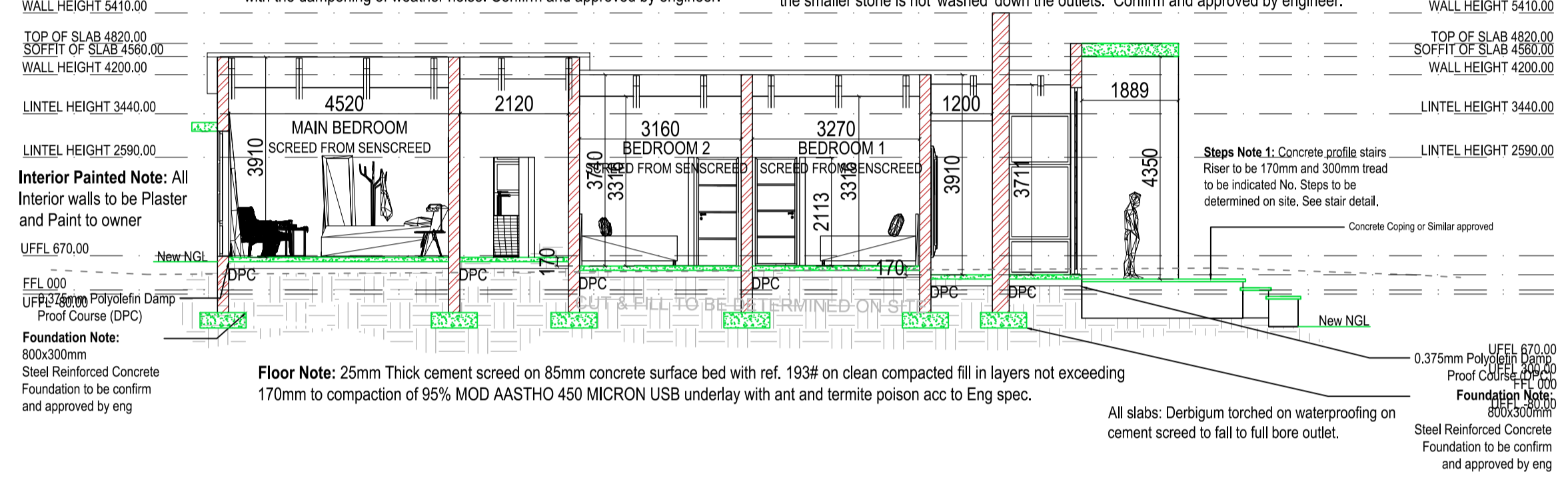


- Solar Geyser Note:**
- Solar panels must be screened from street view. All public spaces as well as neighbors.
 - Geyser for the solar installations be situated in the roof void.
 - Pumps to be behind screen walls in kitchen yards.



Roof note 1: 3°-30° Roof Pitch, Roof overhang - see Roof plan. Thunderstorm Chromadek Saflok 700 Clip roof sheet ON 76x50mm SA PINE ROOF BATTENS @ 700mm centers on 114x38mm SA Pine Beams @ max 1000mm, ON 114x38mm SA Pine Wall Plate. ISOBOARD 80mm WALL TO WALL INSULATED CEILING (in Bedroom 1-2, Bathroom, Double Garage & Scullery). ISOBOARD 80mm BETWEEN TRUSSES INSULATED CEILING (in Main Bedroom, Main Bathroom, Lounge, Dining & Kitchen) to be installed with a layer of 75mm Fibre acoustic insulation laid over the Isoboard to assist with the dampening of weather noise. Confirm and approved by engineer.

Roof note 2: Reinforced concrete slab roof acc to eng specs & specialist erection. Min 30mm screed with 1:80 fall away from building to Full bore outlet (see detail). Derbigum or Similar approved waterproofing One layer Derbigum SP4 waterproofing membrane, with 75mm side laps and 100mm end laps, sealed to primed surface to falls and crossfalls by "torch-fusion" including protection of 50mm thick layer clean 19-25mm crushed stone on Interdek separation layer. Waterproofing to be installed by an Approved Derbigum Contractor under a ten year guarantee. A stone-guard or band of larger stones should be positioned around the outlets so as to ensure that the smaller stone is not "washed" down the outlets. Confirm and approved by engineer.



SECTION B-B Scale 1:100

NOTE: ALL SLOPES AND LEVELS TO BE CHECKED BY ENG ON SITE SECTION

INFORMATION SCHEDULE (ALL COLORS AND CLADDING TO BE APPROVED BY HOA)				
COLOUR SCHEME	----	NATURAL EARTHY TONES		
EXTERIOR WALLS:	----	PLASTER & PAINT: NATURAL EARTHY TONES AS BELOW		
WINDOWS & DOORS:	----	CHARCOAL: POWDER COATED ALUMINIUM		
GARAGE DOOR:	----	CHARCOAL: POWDER COATED ALUMINIUM		
ROOF COLOUR:	----	THUNDERSTORM CHROMADEK SAFLOK 700 CLIP ROOF SHEETING		
CLADDING:	----	MULTI COLOUR SLATE RIVEN CLADDING		
PROPOSED DULUX COLOUR SCHEME		PROPOSED DULUX COLOUR SCHEME	PROPOSED PAVING SCHEME	ROOF COLOUR
Dulux Grecian Grey		Dulux Grey Wind	CONCRETE PAVING SLAB CHARCOAL PROPOSED STONE FINISH	THUNDERSTORM CHROMADEK SAFLOK 700 CLIP
As indicated on elevation/3D		As indicated on elevation/3D		MULTI COLOUR SLATE RIVEN CLADDING
PROPOSED DULUX COLOUR SCHEME		PROPOSED BRICK FINISH	WINDOWS & DOORS	PROPOSED CONCRETE FINISH
Dulux Cosmic Grey		COUNTRY CLASSIC - SATIN COROBRIK		FORMWORK HOLES CONCRETE FINISH
As indicated on elevation/3D				LIFESPAN - RUSTEAK

NOTE:

- All exterior painted to be approved by H.O.A
- Materials must be similar approved as approval by H.O.A

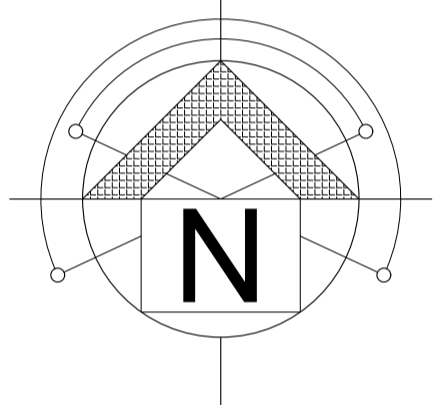
GLAZING NOTES:
 Glazing to be in strict accordance with AAAMSA performance criteria A0, glazed in accordance with SANS 10160, SANS 10137, SANS 10400 (Part N of Section 3) and SANS 1263 Safety glazing is to be in strict accordance with SANS 10400 (Part N)
 Provide glazing indicators on glass doors and windows as per SANS 10400 (Part N) Glazing from FFL to 1000mm above
 FFL=safety glass Glass thickness as per schedule 1 of part N of the NBR
 0- 0.75m = 3mm CLEAR GLASS.
 0.75- 1.5m = 4mm CLEAR GLASS.
 1.5m AND MORE = 6mm CLEAR GLASS.
 MATT GLASS = 4mm.
 SLIDING DOORS = 6.5mm SAFETY GLASS WITH MARKERS ACCORDING TO S.A.B.S. STANDARDS

Drainage:
 All drainage to be in accordance with NBR. All sewer downpipes to be concealed in accessible ducts with access hatch. RE and IE to be fitted before and after entering and exiting building underground. Inspection eye's to all bends and junctions suitably marked at ground level 70mm re-seal anti syphon two-way traps to all waste fillings. All showers on floor to have bras traps. All waste and soil pipes to fall min 1:100 except otherwise indicated. No bends or junctions of drain pipes to be under floor slabs. All galleys to be in an open space. Cleaning Eyes at every 25m intervals. All pipes running under a building or with IL less than 400mm below ground level must be encased in 100mm concrete.

ARCHITECTS NOTES

ALL MATERIALS AND CONSTRUCTION MUST COMPLY WITH NATIONAL BUILDING REGULATIONS ACT NO. 103 OF 1997, INCLUDING ALL AMENDMENTS AS WELL AS THE BY-LAWS OF THE LOCAL AUTHORITIES. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND NO DRAWINGS MUST BE SCALED. ANY INDISTINCTNESS OR DISCREPANCIES MUST BE IMMEDIATELY POINTED OUT TO THE ARCHITECT FOR RECTIFICATION OR EXPLANATION BEFORE ANY CONSTRUCTION CAN COMMENCE. ALL PLANS ARE PROTECTED BY THE COPYRIGHT ACT NO. 98 OF 1978.

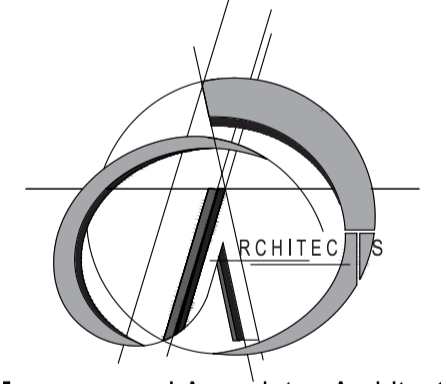
ENERGY EFFICIENT MEASURES TO BE TAKEN BY CLIENT. ALL LIGHTS TO BE FITTED WITH ENERGY EFFICIENT FITTINGS. ALL WESTERN WINDOWS TO BE SHADED WITH TREES, WATER SAVING SHOWER HEADS TO BE FITTED. TOILETS TO BE WITH WATER SAVING FLUSH CONTROL. ENERGY EFFICIENCY TO BE TAKEN IN BUILDING TO COMPLY WITH PART XA. MIN 50% OF HOT WATER REQUIRED TO BE SUPPLIED BY HEAT PUMP OR SOLAR. ALL EXPOSED HOT WATER TO BE INSULATED WITH A 'R' VALUE OF 1 ROOF OVERHANG 400mm. ROOF ASSEMBLIES TO ACHIEVE A 'R' OF 32 WALLS TO BE 230 BRICK PLASTERED BOTH SIDES. WATER TO BE SLOPED AWAY FROM BUILDING. ALL STRUCTURAL WORK TO COMPLY WITH KKS OF SABS 10400 AND 0401 THE CONTRACTOR ON SITE MUST MAKE SURE THAT THE LEVEL BETWEEN THE HOUSE AND GARAGE IS SO THAT A CAR CAN ENTER THE GARAGE WITH EASE. ALL TIMBER TO BE TREATED ACCORDING TO SABS 1288 STANDARD. ALL FINISHED FLOOR LEVELS ARE TO BE DETERMINED ON SITE AFTER SETTING OUT THE COMPLETED PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND OR SUBCONTRACTOR TO CHECK ALL DIMENSIONS, AREAS, LEVELS AND SITE BOUNDARIES BEFORE COMMENCEMENT OF THE WORK ON SITE. ANY DISCREPANCY SHOULD BE REPORTED TO THIS OFFICE AT ONCE. ANY REVISIONS AND OR CHANGES DONE ON SITE MUST BE REPORTED TO THIS OFFICE AT ONCE. NO WORK ON SITE SHALL COMMENCE BEFORE PLANS ARE APPROVED BY THE LOCAL AUTHORITY AND SUCH APPROVAL IS IN THE POSSESSION OF THE CONTRACTOR. IT SHALL BE DETERMINED ON SITE BY THE CONTRACTOR IF THE GROUND SHALL NEED TO BE INSPECTED BY A ENG TO DETERMINE IF REINFORCING ARE NEEDED IN THE FOUNDATIONS. ANY CONTRACTOR AND OR SUB-CONTRACTOR SHALL AT ALL TIMES MAKE SURE THAT ANY MATERIAL USED ON SITE SHALL BE SUITABLE FOR THE USE THEREOF AND INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION.



DRAWING STATUS: Sketch plan only

ZONING: RESIDENTIAL 1

ARCHITECTS



domus and Associates Architects
 (Pty) Ltd
 @ Office, 67 BRINK STREET
 OFFICE 25
 P.O. BOX 1360, RUSTENBURG
 TEL: 014 592 1960 FAX: 0866177275

PROJECT: New Proposed House for **Mr. & Mrs. Cussons** on Erf 2229, Blue Wildebeest Street Schoongezicht Estate, Cashan Ext 7 Rustenburg

DRAWING DESCRIPTION: **Sketch plan** Site & Floor layout

SACAP No - 21044	
DRAWN: Janine	SCALE: See plan
DATE: 08/09/2022	REVISION: 03
PROJECT NO.: 222-09	DRAWING NO.: SK101