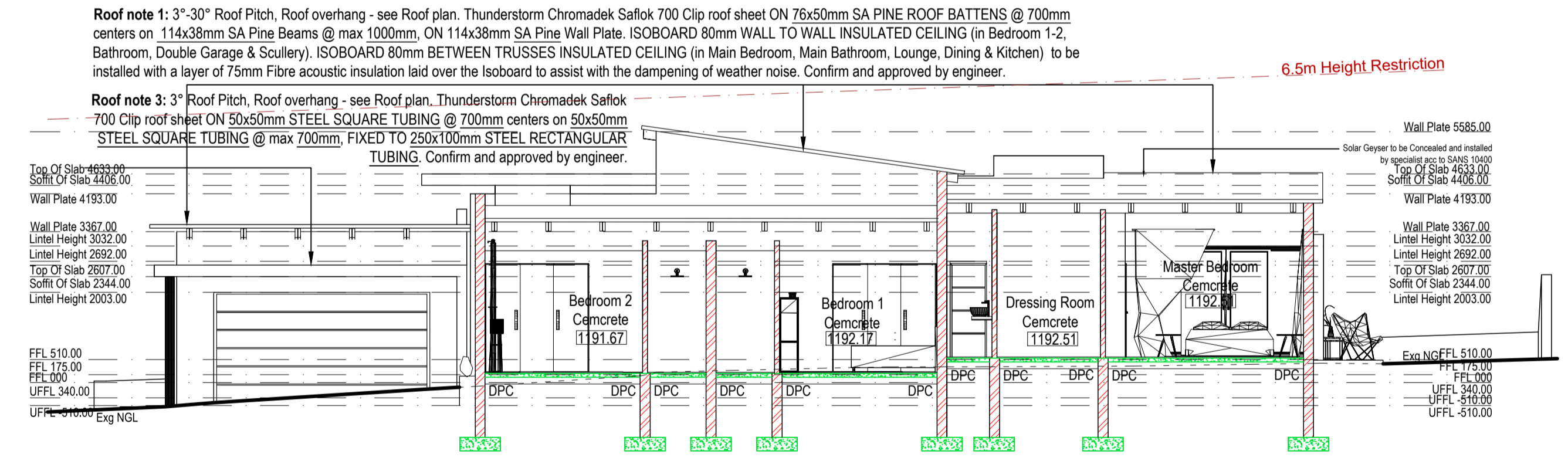
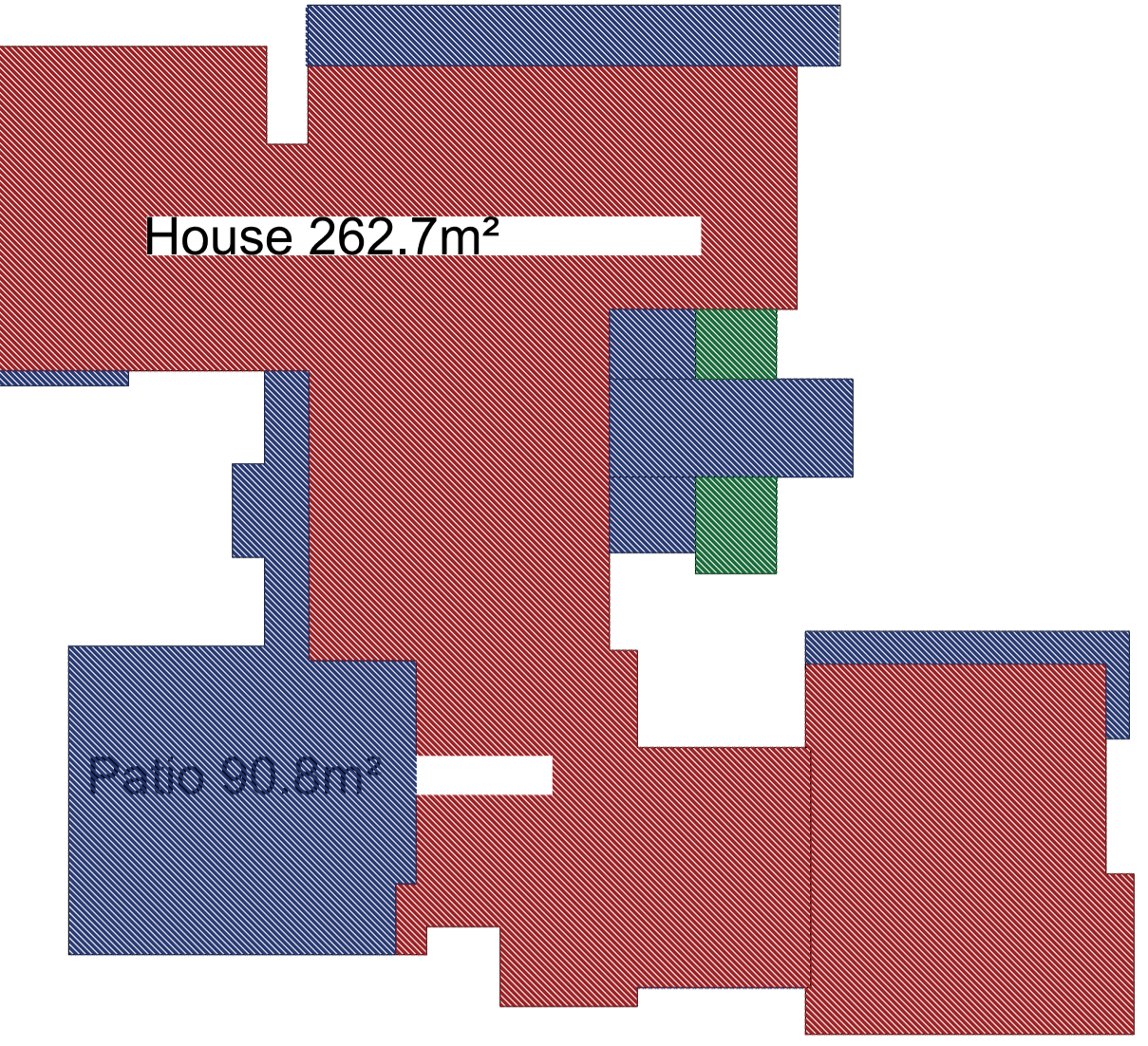


# ROOF PLAN

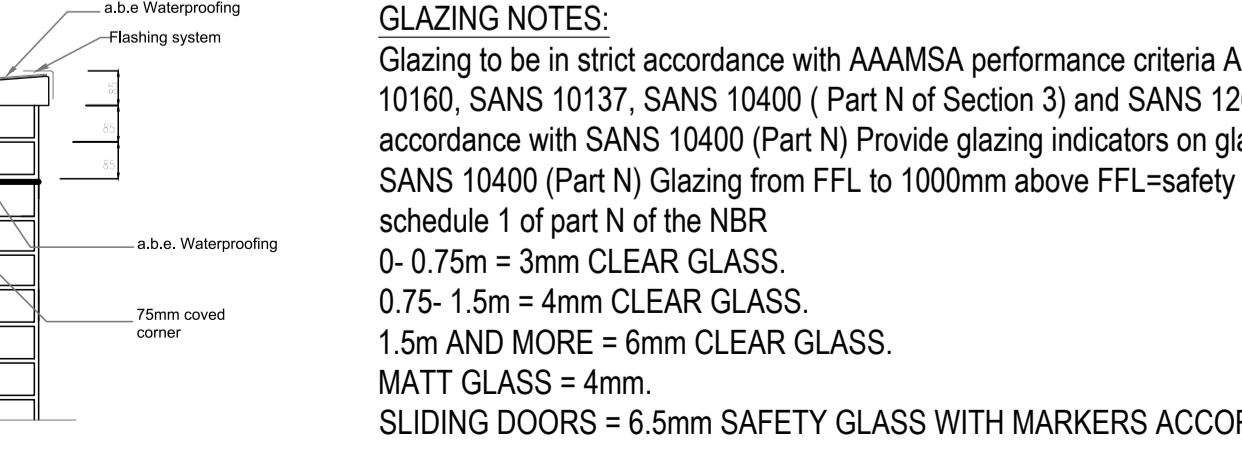
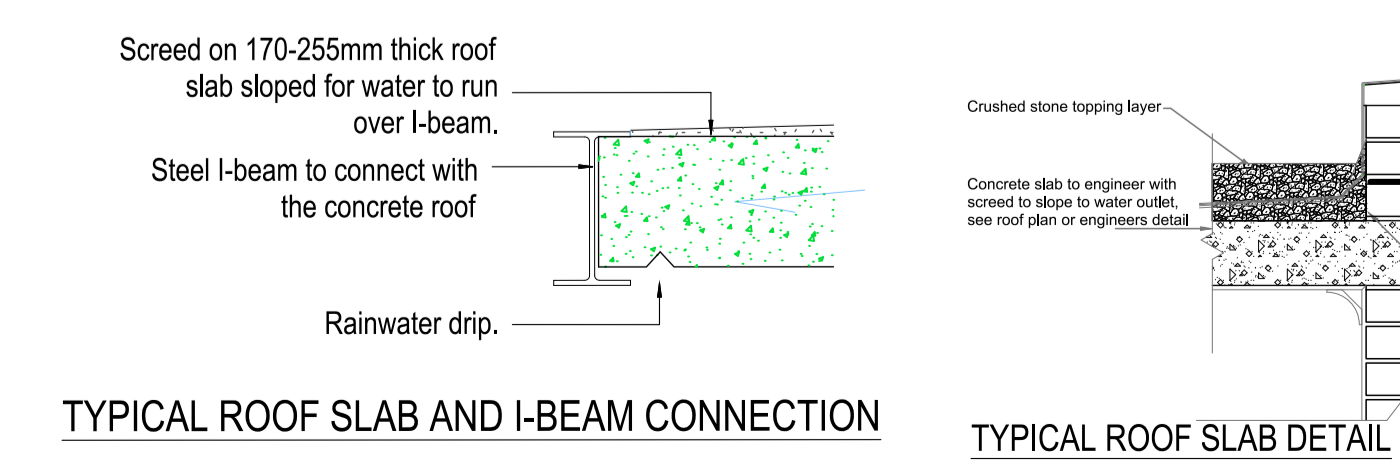
Scale 1:100



# SECTION B-A

Scale 1:100

NOTE: ALL SLOPES AND LEVELS TO BE CHECKED BY ENG ON SITE SECTION

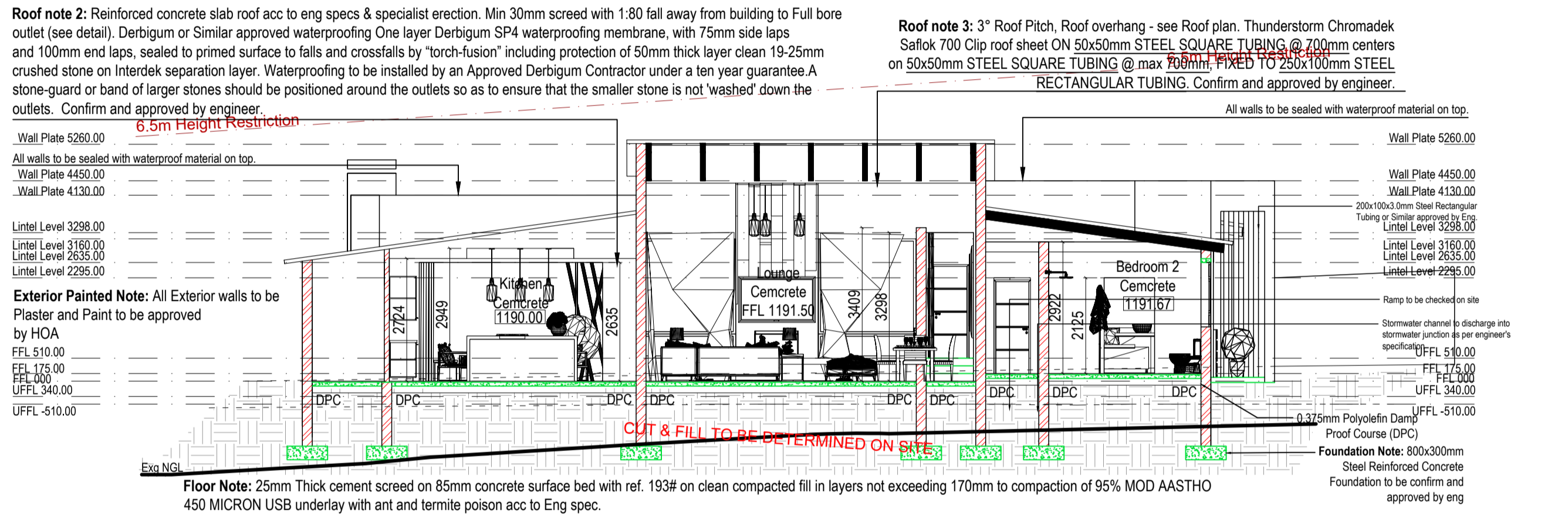
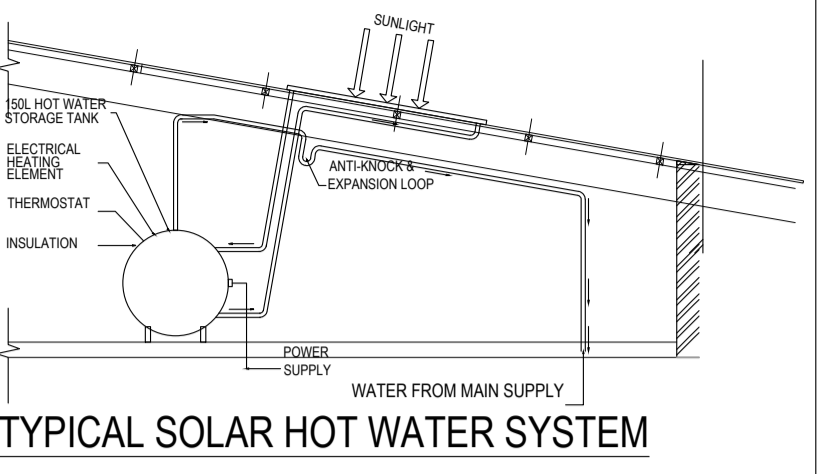


**GLAZING NOTES:**  
Glazing to be in strict accordance with AAAMSA performance criteria A0, glazed in accordance with SANS 10160, SANS 10137, SANS 10400 (Part N of Section 3) and SANS 1263 Safety glazing is to be in strict accordance with SANS 10400 (Part N) Provide glazing indicators on glass doors and windows as per schedule 1 of part N of the NBR  
0- 0.75m = 3mm CLEAR GLASS.  
0.75- 1.5m = 4mm CLEAR GLASS.  
1.5m AND MORE = 6mm CLEAR GLASS.  
MATT GLASS = 4mm.  
SLIDING DOORS = 6.5mm SAFETY GLASS WITH MARKERS ACCORDING TO S.A.B.S. STANDARDS

**Solar Geyser Note:**

- Solar panels must be screened from street view. All public spaces as well as neighbors.
- Geyser for the solar installations be situated in the roof void.
- Pumps to be behind screen walls in kitchen yards.

2.055x100mm Double solar panel  
To be installed by specialist acc to SANS 10400



# SECTION A-A

Scale 1:100

NOTE: ALL SLOPES AND LEVELS TO BE CHECKED BY ENG ON SITE SECTION



**INFORMATION SCHEDULE (ALL COLORS AND CLADDING TO BE APPROVED BY HOA)**

COLOUR SCHEME	----- NATURAL EARTHY TONES
EXTERIOR WALLS:	----- PLASTER & PAINT: NATURAL EARTHY TONES AS BELOW
WINDOWS & DOORS:	----- CHARCOAL: POWDER COATED ALUMINIUM
GARAGE DOOR:	----- CHARCOAL: POWDER COATED ALUMINIUM
ROOF COLOUR:	----- THUNDERSTORM CHROMADEK SAFLOK 700 CLIP ROOF SHEETING
CLADDING:	----- MULTI COLOUR SLATE RIVEN CLADDING

**PROPOSED DULUX COLOUR SCHEME**

Dulux Grecian Grey As indicated on elevation/3D	Dulux Grey Wind As indicated on elevation/3D
Dulux C As indicated on elevation/3D	COUNTRY CLASSIC - SATIN COROBRIK

**PROPOSED PAVING**

CONCRETE PAVING SLAB CHARCOAL PROPOSED STONE FINISH	WINDOWS & DOORS
CHARCOAL: POWDER COATED ALUMINIUM	FORMWORK HOLES CONCRETE FINISH

**ROOF COLOUR**

THUNDERSTORM CHROMADEK SAFLOK 700 CLIP	PROPOSED CONCRETE FINISH
--	--------------------------

**PROPOSED CLADDING**

MULTI COLOUR SLATE RIVEN CLADDING	EVA-LAST CLADDING
	LIFSPAN - RUSTEAK

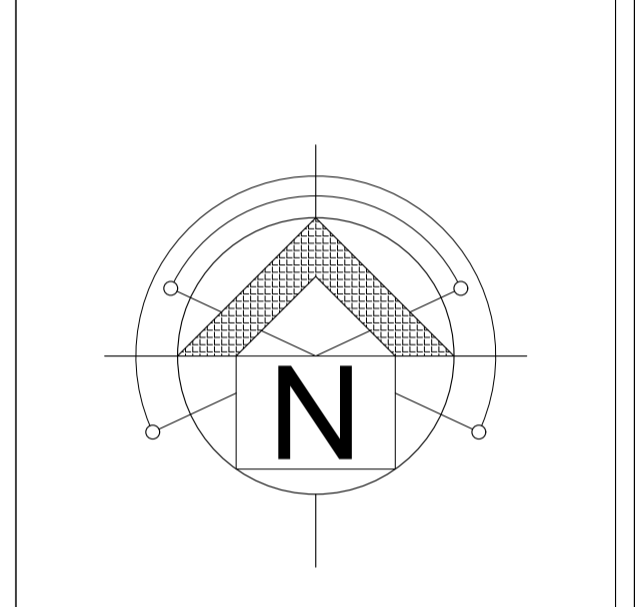
**NOTE:**

- All exterior painted to be approved by H.O.A
- Materials must be similar approved as approval by H.O.A

**ARCHITECTS NOTES**

ALL MATERIALS AND CONSTRUCTION MUST COMPLY WITH NATIONAL BUILDING REGULATIONS ACT NO. 103 OF 1997, INCLUDING ALL AMENDMENTS AS WELL AS THE BY-LAWS OF THE LOCAL AUTHORITIES. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE AND NO DRAWINGS MUST BE SCALED. ANY INDISTINCTNESS OR DISCREPANCIES MUST BE IMMEDIATELY POINTED OUT TO THE ARCHITECT FOR RECTIFICATION OR EXPLANATION BEFORE ANY CONSTRUCTION CAN COMMENCE. ALL PLANS ARE PROTECTED BY THE COPYRIGHT ACT NO. 98 OF 1978.

ENERGY EFFICIENT MEASURES TO BE TAKEN BY CLIENT. ALL LIGHTS TO BE FITTED WITH ENERGY EFFICIENT FITTINGS. ALL WESTERN WINDOWS TO BE SHADED WITH TREES. WATER SAVING SHOWER HEADS TO BE FITTED. TOILETS TO BE WITH WATER SAVING FLUSH CONTROL. ENERGY EFFICIENCY TO BE TAKEN IN BUILDING TO COMPLY WITH PART XA. MIN 50% OF HOT WATER REQUIRED TO BE SUPPLIED BY HEAT PUMP OR SOLAR. ALL EXPOSED HOT WATER TO BE INSULATED WITH A "R" VALUE OF 1 ROOF OVERHANG 400mm. ROOF ASSEMBLIES TO ACHIEVE A "R" OF 32 WALLS TO BE 230 BRICK PLASTERED BOTH SIDES. WATER TO BE SLOPED AWAY FROM BUILDING. ALL STRUCTURAL WORK TO COMPLY WITH KKS OF SABS 10400 AND 0401 THE CONTRACTOR ON SITE MUST MAKE SURE THAT THE LEVEL BETWEEN THE HOUSE AND GARAGE IS SO THAT A CAR CAN ENTER THE GARAGE WITH EASE. ALL TIMBER TO BE TREATED ACCORDING TO SABS 1288 STANDARD. ALL FINISHED FLOOR LEVELS ARE TO BE DETERMINED ON SITE AFTER SETTING OUT THE COMPLETED PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER AND OR SUBCONTRACTOR TO CHECK ALL DIMENSIONS, AREAS, LEVELS AND SITE BOUNDARIES BEFORE COMMENCEMENT OF THE WORK ON SITE. ANY DISCREPANCY SHOULD BE REPORTED TO THIS OFFICE AT ONCE. ANY DISCREPANCY BETWEEN PLANS, SPECIFICATION AND QUOTATION SHOULD BE REPORTED TO THIS OFFICE AT ONCE. ANY REVISIONS AND OR CHANGES DONE ON SITE MUST BE REPORTED TO THIS OFFICE AT ONCE. NO WORK ON SITE SHALL COMMENCE BEFORE PLANS ARE APPROVED BY THE LOCAL AUTHORITY AND SUCH APPROVAL IS IN THE POSSESSION OF THE CONTRACTOR. IT SHALL BE DETERMINED ON SITE BY THE CONTRACTOR IF THE GROUND SHALL NEED TO BE INSPECTED BY A ENG TO DETERMINE IF REINFORCING ARE NEEDED IN THE FOUNDATIONS. ANY CONTRACTOR AND OR SUB-CONTRACTOR SHALL AT ALL TIMES MAKE SURE THAT ANY MATERIAL USED ON SITE SHALL SUITABLE FOR THE USE THEREOF AND INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION.



**PROJECT:**  
Erf 2227, Blue Wildebeest Street Schoongzigt Estate, Cashan Ext 7 Rustenburg

**DRAWING DESCRIPTION:**  
**Council Drawings**  
Site & Floor layout

**DRAWN:** Janine  
**DATE:** 20/09/2022  
**PROJECT NO.:** 222-07

**SCALE:** See plan  
**REVISION:** 03  
**DRAWING NO.:** 103